

# PEACEHAVEN TOWN COUNCIL

Tony Allen  
TOWN CLERK  
TELEPHONE: (01273) 585493 OPTION 6  
FAX: 01273 583560  
E-MAIL: [Townclerk@peacehaventowncouncil.gov.uk](mailto:Townclerk@peacehaventowncouncil.gov.uk)

TOWN COUNCIL OFFICE  
MERIDIAN CENTRE  
MERIDIAN WAY  
PEACEHAVEN  
EAST SUSSEX

Minutes of the meeting of the Planning & Highways Committee held in Community House,  
Meridian Centre at 7.30pm on Tuesday 22<sup>nd</sup> October 2019

Present – Cllr I Sharkey (Chairman), Cllr J Harris, Cllr S Griffiths, Cllr D Seabrook, Cllr D Paul, Cllr G Hill, Cllr L Mills, Cllr A Goble, Cllr A Milliner,

Victoria Onis (Admin)  
6 members of the public

## **1 PH716 CHAIR ANNOUNCEMENTS**

The Chairman welcomed everyone to the meeting and read the Health and Safety announcement.

## **2 PH717 PUBLIC QUESTIONS**

- 1) A member of the public noted that at the Full Council meeting on the 24th September, on behalf of Peacehaven Focus Group, asked a question regarding the Barrett's development at Chalkers Rise, and their possible failure to comply with obligations as set out in the planning application. This was referred to the Planning and Highways meeting on the 1st of October. It was decided at that meeting that this question should be addressed by LDC, and would therefore be sent to them to be answered. Can we be assured that this has been done, and if so what, if any response been received from LDC?"

**Action** – Cllr Sharkey advised she would look into and check the previous minutes.

- 2) Comments also received regarding the parking situation for the Bells Club application LW/19/0683.

**Action** – comments noted.

- 3) Residents concern for the road "improvements" which have been submitted for the Dell Roundabout. The application proposal will widen the road to two lanes which will increase traffic flow & increase speed in an already dangerous area. Adding to this, there is a lack of safe crossings along the Coast Road, particularly from the Telscombe traffics lights to the Dell roundabout. Many elderly and visually impaired residents have been seen struggling to cross the road and concerns that we have to wait for a fatality before anything is done to improve the situation.

**Action** – PTC will try and locate the plans for the Churchill Retirement Development to see if part of the proposal was to include a safe crossing at the Dell. Was also mentioned that the CC Nigel Enever has asked ESCC Highways to come and view in person the traffic at the Dell but as yet we don't believe this has happened.

**3 PH718 VANESSA ROWLANDS FROM CUCKMERE VALLEY PARISH COUNCIL REGARDING THE SETTING UP A REGULAR DIALOGUE BETWEEN PTC & SDNPA**

Cllr Rowlands is a Parish Councillor on Cuckmere Valley Parish council and was elected onto the South Downs National Park Authority in June this year. Peacehaven Town Council received updates on the flood at Cuckmere valley, which has been completely flooded. The Environment Agency that look after the river, hasn't been and managing the shingle for last 2.5 years. It has now been resolved that the Water Level Management Board that looks after the rest of the water within the catchment area are now going to pay for it to be cleared and South Downs National Park have made a contribution as well.

Cllr Rowlands expressed that if there are any issues regarding National Park; please feel free to make contact.

**4 PH719 TO CONSIDER APOLOGIES FOR ABSENCE & SUBSTITUTIONS**

Cllr Cheta -Mayoral event

Apologies accepted.

**5 PH720 TO RECEIVE DECLARATIONS OF INTEREST FROM COMMITTEE MEMBERS**

There were no declarations of interests

**6 PH721 TO APPROVE & SIGN THE NON CONFIDENTIAL MINUTES OF 1<sup>ST</sup> OCTOBER 2019**

It was resolved to adopt the minutes as a true record

Proposed Cllr Griffiths

Seconded Cllr Mills

All in Agreement

**7 PH722 BUDGET REQUIREMENTS FOR 2020**

- Bus shelter provision & Maintenance
- Notice boards & maintenance, including Obelisk & Monuments
- Street furniture – Seats & litter bins
- Climate change

**Comments** – to check the bulbs in the 2/3 of the lamp posts at Valley Road; the bill for electricity for these lamps are averaging at £90 per month.

Proposed Cllr Griffiths

Seconded Cllr Seabrook

All in Agreement

## 8 PH723 REFURBISHMENT OF OBELISK AND MONUMENT

Discussed in item 7 PH722.

## 9 PH724 TO CONSIDER THE URBAN VERGE CUTTING 2020

It was resolved to select **Option 2 – Extra cuts:** Parish/Town Councils may fund an additional four cuts to be carried out by ESCC, totalling six cuts (two standard and four extra) over the course of the year. This would cost Peacehaven Town Council a total of £8,669 for the year.

**Proposed** Cllr Seabrook

**Seconded** Cllr Paul

**All in Agreement**

## 10 TO SETUP A SPEED WATCH WORKING GROUP

Cllr Hills welcomed support from residents over the last week and would be grateful for some Councillors to also volunteer.

Cllr Harris, Cllr Seabrook & Ms Onis have volunteered to help with the Speedwatch working group

## 11 PLANNING APPLICATIONS

<b>PH725 LW/19/0617</b> 118 Roderick Avenue Peacehaven Case worker – Robin Hirschfeld	Raise ridge for roof extension
	<b>Peacehaven Town Council Recommend Approval</b> <b>Proposed</b> Cllr Griffiths <b>Seconded</b> Cllr Seabrook <b>All in Agreement</b>
<b>PH726 LW/19/0695</b> 1a Lea Road Peacehaven Case worker – Chris Wright	Subdivide existing dwelling to create two dwellings (internal & external works)
	<b>Peacehaven Town Council Recommend Approval</b> <b>Proposed</b> Cllr Paul <b>Seconded</b> Cllr Hill <b>All in Agreement</b>



<b>PH727 LW/19/0683</b> The Bells Club 8 Phyllis Avenue Peacehaven BN107HY Case worker - James Smith	Change of use application from a licensed premises ( private members club class use A4 ) to a community worship centre ( class D2 )
	<p>Resident Objections online and Objections from public attending the Planning meeting.</p> <p>Serious concerns and Objections due the lack of satisfactory parking for users coming from all areas along the Coast from Brighton to Newhaven. When the premises were previously used as a social club the customers could use the Stonehouse (Carvary) carpark opposite. Recently this has changed and to use the carpark, without using the Stonehouse facilities means you will incur a fine. The only place to park now would be on residential streets and double yellow lines along the Coast Road. The lack of parking is a concern for disturbance reasons between the hours of 5am -10pm, which actually would be from approx 4.30am until after 10pm to enable users to get to and from car.</p> <p><b>Peacehaven Town Council Recommend Approval Subject to proof of satisfactory parking arrangements</b>                      Proposed Cllr Griffiths                      Seconded Cllr Hill                      All in agreement</p>
<b>PH728 LW/18/0726</b> 211 South Coast Road Peacehaven Case worker - April parsons	Section 73a retrospective application for change of use to formal A5 to allow hot food takeaway and delivery
	<p><b>Peacehaven Town Council Recommend Approval</b>                      Proposed Cllr Seabrook                      Seconded Cllr Mills                      All in agreement</p>



**12 TO NOTE the following Planning Applications:-**

<b>PH729 LW/19/0703/CD</b> 12 Sunview Avenue Peacehaven	Discharge of conditions 4, 5 and 6 relating to planning approval LW/19/0491
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The Committee noted the planning applications above.

**13 TO NOTE the following planning application decisions:-**

<b>LW/19/0554</b> 4 Mayfield Avenue Peacehaven	Lewes DC <b>Grants Permission</b> Peacehaven's Planning & Highways Committee <b>Supported</b> this application
<b>LW/19/0582</b> 51 Firle Road Peacehaven East Sussex BN10 8DA	Lewes DC <b>Grants Permission</b> Peacehaven's Planning & Highways Committee <b>Supported</b> this application

The Committee noted the planning results above.

**Date of next meeting** Tuesday 12th November 2019 at 7.30pm

*There being no further business, the meeting closed at 8.25pm*



**Agenda Item:** 6 PH735

**Committee:** P&H

**Date:** 5<sup>th</sup> November 2019

**Title:** Planning and Highways Budget 2019/20

**Report Author:** Cllr Sharkey

	Current Budget	Year to date
Repairs/alterations of premises	1000	0
Electricity	1000	717
Grounds maintenance	500	0
Grass cutting	10140	0

Total	12640	717
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#### **Suggested Headings for 2020/21**

With draft figures as a starting point for discussion

Street Lights	1,092
Grass verge cutting	8,669
Bus shelter maintenance	500
Notice boards	1000
Street Furniture	1000
Climate change actions	100

Total	12361
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NB The figure for street lights is based on the current bill of £91 per month, and the grass cutting is based on the bid agreed at the last P&H meeting.





**Agenda Item: 6 PH735**

**Committee:** Planning & Highways

**Date:** 5<sup>th</sup> November 2019

**Title:** Estimate for costs for next on the following items

**Report Author:** – Parks Officer

- Bus shelter maintenance- £500 as Andy Picton has refurbished the shelters this year to replace Perspex panels if required
- Street furniture £600 to repaint and replace a few broken slats
- Notice board maintenance- £1300 as I recommend replacing the notice board on the bus shelter in Telscombe avenue @£800 and allow £500 for replacing any Perspex damaged in the current ones
- Obelisk refurbishment- £500 in house as only painting required hire of a tower @£200 per week and paint
- War memorial painting- £100 for paint, this was carried out by volunteers last time at no cost to PTC





MEETING DATE	TASK	ACTION	PERSON RESPONSIBLE	STATUS/COMMENTS	UPDATE
03/09/2019	RESIDENT Concerns with Steyning car park being used as a P&R.	comments will be passed to LDC - with a suggestion that "Roderick Ave South" could be used for a P&R scheme to avoid clogging up car parks near to the shops.			
03/09/2019	Public rights of way working group - Concrete path lower hodderm farm to centenary park	Cllr Griffiths requested help from other councillors filling in evidence forms (extend of usage prior to 2005)			Has had first meeting
03/09/2019	RESIDENT Concerns with Steyning car park being used as a P&R.	comments will be passed to LDC - with a suggestion that "Roderick Ave South" could be used for a P&R scheme to avoid clogging up car parks near to the shops.			
03/09/2019	PUBLIC RIGHTS OF WAY WORKING GROUP - CONCRETE PATH LOWER HODDERM FARM TO CENTENARY PARK	Cllr Griffiths requested help from other councillors filling in evidence forms (extend of usage prior to 2005)			
01/10/2019	to monitor the webbs development & highlight concerns with planning enforcement to ensure we do not get the same ongoing concerns as the Barretts site.	monitor the webbs site development & ensure abiding to restrictions	Cllr Paul to monitor Webbs development and Cllr Sharkey to Contact CC Nigel Enever	<p><b>22/10</b> A member of the public noted that at the Full Council Meeting on the 24th September, on behalf of Peacehaven Focus Group, asked a question regarding the Barrett's development at Chalkers Rise, and their possible failure to comply with obligations as set out in the planning application. This was referred to the Planning and Highways meeting on the 1st of October. It was decided at that meeting that this question should be addressed by LDC, and would therefore be sent to them to be answered. Can we be assured that this has been done, and if so what, if any response been received from LDC?"</p> <p><b>Action</b> – Cllr Sharkey advised she would look into and check the previous minutes.</p>	12/11 Resident has again followed up to ask if his concern has been actioned?

MEETING DATE	TASK	ACTION	PERSON RESPONSIBLE	STATUS/COMMENTS	UPDATE
22th oct	<p>Residents concern for the road "improvements" which have been submitted for the Dell Roundabout. The application proposal will widen the road to two lanes which will increase traffic flow &amp; increase speed in an already dangerous area. Adding to this, there is a lack of safe crossings along the Coast Road, particularly from the Teiscombe traffics lights to the Dell roundabout. Many elderly and visually impaired residents have been seen struggling to cross the road and concerns that we have to wait for a fatality before anything is done to improve the situation</p> <p>excessive electricity bill (approx £90 per month) for 2/3 lampposts in Valley Road</p> <p>set up a speedwatch working group to promote speedwatch</p>	<p>PTC will try and locate the plans for the Churchill Retirement Development to see if part of the proposal was to include a safe crossing at the Dell. Was also mentioned that the CC Nigel Enever has asked ESCC Highways to come and view in person the traffic at the Dell but as yet we don't believe this has happened.</p> <p>to check the bulbs at Valley Road;</p>		3/11 admin officer located Churchill planning application; no mention of a new crossing.	
22th oct					
22th oct			Clr Hill,		

PARISH CONSULTATION LETTER

<b>From:</b>	Planning	<b>To:</b>	Peacehaven
<b>Comments to be received by:</b>	15.11.2019.		
<b>Case No:</b>	LW/19/0707		
<b>Case Officer:</b>	Mrs April Parsons		

**Location:** 48 Rowe Avenue Peacehaven East Sussex BN10 7PF

**Proposal:** Single storey side and rear extension

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I am consulting you on the above development. A copy of the above planning application, together with accompanying plans, drawings and other documents, is available on our Public Access website by following the link below:

<http://www.lewes.gov.uk/planning/1139.asp>

We would be grateful to receive any observations no later than 15.11.2019.

Yours faithfully

**Mrs April Parsons**  
Case Worker (Planning)

Phone: 01273 471600  
Email: [customerfirst@lewes-eastbourne.gov.uk](mailto:customerfirst@lewes-eastbourne.gov.uk)  
Website: [lewes-eastbourne.gov.uk](http://lewes-eastbourne.gov.uk)





# ***Design & Access / Heritage Statement***

*Proposed side and rear pitched / flat roof  
single storey extension*

*48 Rowe Avenue  
Peacehaven  
East Sussex*



*produced by*

*SDR Designs  
Architectural & Planning Consultants*

*September 2019*

### **1.0 Introduction Site and Surrounding**

*The property is a semi-detached single storey bungalow located in Rowe Avenue which is an area made up of residential low level dwellings.*

*The existing dwelling/ plot consists of a semi-detached bungalow with a flat roof rear conservatory extension along with a detached garage and garden shed.*

### **2.0 Other Planning Applications within Rowe Avenue of similar works.**

*On inspection of the Planning Register it has been noted that the majority of Planning Applications have been for rear extension, roof conversions, conversion of garages so do appear to be of very similar.*

### **3.0 Proposed Development**

*A Planning Application has been deposited via the Planning Portal for the proposed single storey rear / side extension which will enable two of the existing bedrooms to be enlarged and one being provided with en-suite facilities.*

*The existing garage, shed and flat roof rear conservatory are to be removed to enable the new extensions to be constructed.*

*The proposed rear extension will form an open plan kitchen / living / dining area with doors leading onto the rear garden. The existing kitchen area which is located at the front of the building, this is to be re-positioned to the rear within the new extension, the existing front kitchen is to be extended to form a master bedroom with an en-suite.*

### **4.0 The layout**

*The proposals are to provide the main living / kitchen area to be located to the rear of the property within a new extension.*

*The two front rooms will be used as bedrooms with the existing bathroom being re-fitted along with the formation of an en-suite between bedrooms 1 and 2.*

*The enlarged living area to rear is to have large window and door opening to utilize the large level garden area*

### **5.0 The Scale**

*The side / rear extension is to have a dummy pitched roof which allows the height of the proposed extension to be kept to a minimum but also allow the extension to be formed having a more acceptable shape. The overall height of the extension is to be no higher than 3700mm above the existing ground level.*

### **6.0 Use**

*The existing C3 domestic dwelling use of the property is to remain un-changed.*

### **7.0 Landscaping**

*There are no proposals to carry out any landscaping as part of this Householder Planning Application.*

### **8.0 Appearance**

*The proposed extension is to be constructed with facing brickwork externally under a dummy pitched / flat roof. The new area of tiled roof is to be clad with plain tiles of colour / texture to match the existing main roof of building.*



*The new white upvc double glazed windows and doors are to be of the same material and style as the existing units.*

#### **9.0 Access**

*The access to the property is to remain as existing.*

#### **10.0 Conclusion**

*The proposed extension will be constructed of exacting materials to allow the extension to sit well within its locality without forming a detrimental addition to the street scene.*

*The rear extension although approximately 1000mm deeper than the neighbours this should not have a detrimental effect on the privacy or outlook of the neighbouring property.*

*The extension has been designed so as to provide the requirements of a growing family without the over development of the building or plot for these reason it is felt that the Planning Application be approved.*

#### **11.0 Developments within, or effecting conservation area, a listed building or its setting:-**

*The existing building is not within a conservation area and has no architectural / historical merits.*

#### **12.0 Heritage Statement:-**

*Historic Parks and Gardens the proposals do not form part of a historic garden or park.*

*Scheduled Ancient Monument the site does not lie close to an ancient monument*

*Historical Development and Archaeological Interest.*

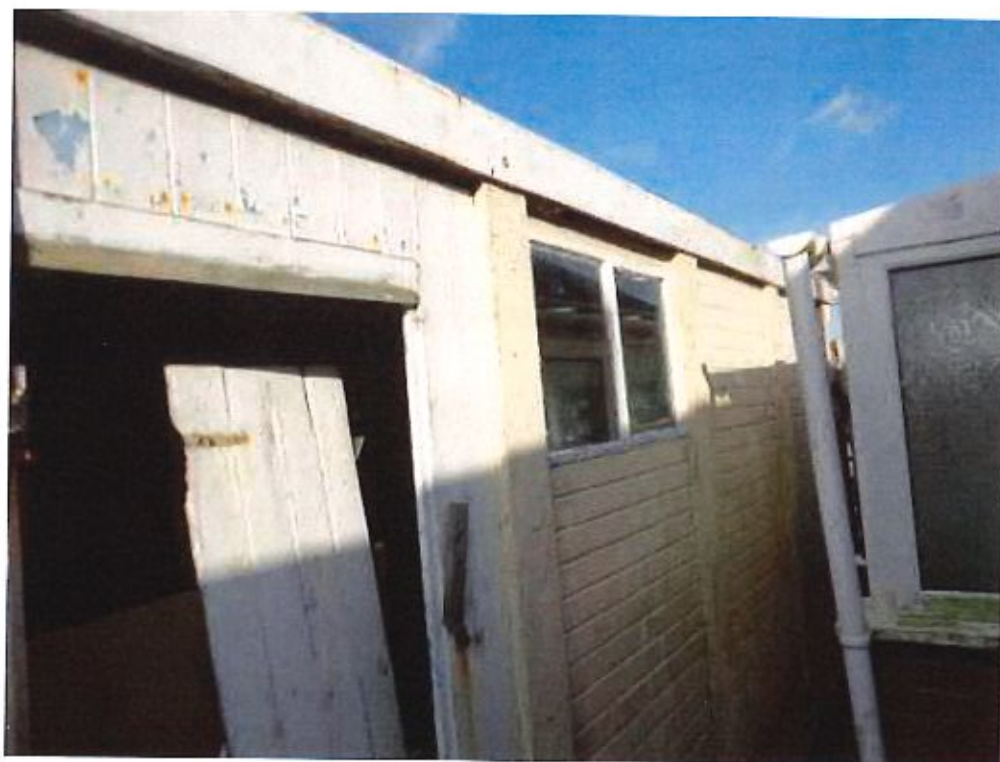
#### **13.0 Site Photographs:-**











## Community Infrastructure Levy (CIL) - Form 1: CIL Additional Information

Determining whether a Development may be CIL Liable - For submission with Planning Application

**Please note:** This version of the form should only be used for submissions relating to planning applications in England. There is a legacy version of the form for use in Wales: Download the legacy version of this form

Following the introduction of the Community Infrastructure Levy (CIL) all applicants for full planning permission, including householder applications and reserved matters following an outline planning permission, and applicants for lawful development certificates are required to provide the following information.

**Please read the associated Guidance Note before you complete the form. This and additional per-question help can be viewed at:**  
[https://ecab.planningportal.co.uk/uploads/1app/cil\\_guidance.pdf](https://ecab.planningportal.co.uk/uploads/1app/cil_guidance.pdf)

Please complete the form using block capitals and black ink and send to the Collecting Authority.

See Planning Practice Guidance for CIL for guidance on CIL generally, including exemption or relief.

### Privacy Notice

This form is provided by Planning Portal and based on the requirements provided by Government for the sole purpose of submitting information to a Local Authority in accordance with the 'The Community Infrastructure Levy Regulations 2010 (as amended)'.

Please be aware that once you have downloaded this form, Planning Portal will have no access to the form or the data you enter into it (unless you choose to upload it to any Planning Portal online service in agreement with the relevant terms and conditions). Any subsequent use of this form is solely at your discretion, including the choice to complete and submit it to a Local Authority with the declaration section.

Upon receipt of this form and any supporting information, it is the responsibility of the Local Authority to inform you of its obligations in regards to the processing of this information. Please refer to its website for further information on any legal, regulatory and commercial requirements relating to information security and data protection of the information you have provided.

### 1. Application Details

Applicant or Agent Name:

Mr S Wickham

Planning Portal Reference (if applicable):

Local authority planning application number (if allocated): Lewes District Council

Site Address:

48 Rowe Avenue  
Peacehaven  
East Sussex  
BN10 7PF

Description of development:

Single storey pitched / flat roof side and rear extension  
(to form larger bedrooms, en-suite, utility room and open plan kitchen / living / dining area)



## 2. Applications to Remove or Vary Conditions on an Existing Planning Permission

a) Does the application seek to remove or vary conditions on an existing planning permission (i.e. Is it a Section 73 application)?

Yes

If 'Yes', please complete the rest of this question ☐

No

If 'No', you can skip to **Question 3** ☒

b) Please enter the application reference number

c) Does the application involve a change in the amount or use of new build development, where the total (including that previously granted planning permission) is over 100 square metres gross internal area?

Yes ☐ No ☐

d) Does the application involve a change in the amount of gross internal area where one or more new dwellings (including residential annexes) are to be created, either through new build or conversion (except the conversion of a single dwelling house into two or more separate dwellings with no additional gross internal area created)?

Yes ☐ No ☐

If you answered 'Yes' to either c) or d), please go to **Question 5**

If you answered 'No' to both c) and d), you can skip to **Question 8**

## 3. Reserved Matters Applications

a) Does the application relate to details or reserved matters on an existing permission that was granted prior to the introduction of the CIL charge in the relevant local authority area?

Yes

If 'Yes', please complete the rest of this question ☐

No

If 'No', you can skip to **Question 4** ☒

b) Please enter the application reference number

If you answered 'Yes' to a), you can skip to **Question 8**

If you answered 'No' to a), please go to **Question 4**

## 4. Liability for CIL

a) Does the application include new build development (including extensions and replacement) of 100 square metres gross internal area or above?

Yes ☐ No ☒

b) Does the application include creation of one or more new dwellings (including residential annexes) either through new build or conversion (except the conversion of a single dwelling house into two or more separate dwellings with no additional gross internal area created)?

Yes ☐ No ☒

If you answered 'Yes' to either a) or b), please go to **Question 5**

If you answered 'No' to both a) and b), you can skip to **Question 8**

## 5. Exemption or Relief

a) Is the site owned by a charity where the development will be wholly or mainly for charitable purposes, and the development will be either occupied by or under the control of a charitable institution?

Yes ☐ No ☐

b) Does the proposed development include affordable housing which qualifies for mandatory or discretionary Social Housing relief?

Yes ☐ No ☐

If you answered 'Yes' to either a) or b), please note that you will need to complete 'CIL Form 10: Charitable and/or Social Housing Relief Claim'. The form must be submitted to the Collecting Authority, and any relief must be granted by them, prior to the commencement of the development. Otherwise the full CIL charge will be payable.

A Commencement (of development) Notice (CIL Form 6) must also be received by the Collecting Authority prior to the commencement of the development otherwise:

- If your CIL Liability Notice was issued on or after 1 September 2019  
A surcharge equal to 20% of the notional CIL chargeable amount or £2,500, whichever is the lower amount, will be incurred; or
- If your CIL Liability Notice was issued prior to 1 September 2019  
The relief previously granted will be rescinded and the full levy charge will be payable.

You will also need to complete 'CIL Form 10: Charitable and/or Social Housing Relief Claim' if you think you are eligible for discretionary charitable relief, or discretionary social housing relief (if this is available in your area).

If you wish to claim exceptional circumstances relief, and if the charging authority have made exceptional circumstances relief available in their area (please check their website for details), you will need to complete 'CIL Form 11: Exceptional Circumstances Relief Claim'. The form must be submitted to the Collecting Authority, AND any relief must be granted by them, prior to the commencement of the development. Otherwise the full CIL charge will be payable.

All CIL Forms are available from: [www.planningportal.co.uk/cil](http://www.planningportal.co.uk/cil)

c) Do you wish to claim a self build exemption for a whole new home?

Yes ☐ No ☐

If you have answered 'Yes' to c), please note that you will need to complete 'CIL Form 7: Self Build Exemption Claim - Part 1'. This form must be submitted to the Collecting Authority, and any exemption must be granted by them, prior to the commencement of the development. Otherwise the full CIL charge will be payable.

A Commencement (of development) Notice (CIL Form 6) must also be received by the Collecting Authority prior to the commencement of the development otherwise:

- If your CIL Liability Notice was issued on or after 1 September 2019  
A surcharge equal to 20% of the notional CIL chargeable amount or £2,500, whichever is the lower amount, will be incurred; or
- If your CIL Liability Notice was issued prior to 1 September 2019  
The exemption previously granted will be rescinded and the full levy charge will be payable.

All CIL Forms are available from: [www.planningportal.co.uk/cil](http://www.planningportal.co.uk/cil)

d) Do you wish to claim an exemption for a residential annex or extension?

Yes ☐ No ☐

If you have answered 'Yes' to d), please note that you will need to complete either 'CIL Form 8: Residential Annex Exemption Claim' or 'CIL Form 9: Residential Extension Exemption Claim'. The relevant form must be submitted to the Collecting Authority, and any exemption must be granted by them, prior to the commencement of the development. Otherwise the full CIL charge will be payable.

In respect of a residential annex, a Commencement (of development) Notice (CIL Form 6) must also be received by the Collecting Authority prior to the commencement of the development otherwise:

- If your CIL Liability Notice was issued on or after 1 September 2019  
A surcharge equal to 20% of the notional CIL chargeable amount or £2,500, whichever is the lower amount, will be incurred; or
- If your CIL Liability Notice was issued prior to 1 September 2019  
The exemption previously granted will be rescinded and the full levy charge will be payable.

All CIL Forms are available from: [www.planningportal.co.uk/cil](http://www.planningportal.co.uk/cil)



## 6. Proposed New Gross Internal Area

a) Does the application involve new **residential development** (including new dwellings, extensions, conversions/changes of use, garages, basements or any other buildings ancillary to residential use)?

Please note, conversion of a single dwelling house into two or more separate dwellings (without extending them) is **not** liable for CIL. If this is the sole purpose of your development proposal, you should answer 'No' to Question 4b above.

Yes ☐ No ☐

If yes, please complete the table in section 6c below, providing the requested information, including the gross internal area relating to new dwellings, extensions, conversions, garages or any other buildings ancillary to residential use.

b) Does the application involve new **non-residential development**?

Yes ☐ No ☐

If yes, please complete the table in section 6c below, using the information from your planning application.

c) Proposed gross internal area:

Development type	(i) Existing gross internal area (square metres)	(ii) Gross internal area to be lost by change of use or demolition (square metres)	(iii) Total gross internal area proposed (including change of use, basements, and ancillary buildings) (square metres)	(iv) Net additional gross internal area following development (square metres) (iv) = (iii) - (ii)
Market Housing (if known)				
Social Housing, including shared ownership housing (if known)				
Total residential				
Total non-residential				
Grand total				

## 7. Existing Buildings

a) How many existing buildings on the site will be retained, demolished or partially demolished as part of the development proposed?

Number of buildings:

b) Please state for each existing building/part of an existing building that is to be retained or demolished, the gross internal area that is to be retained and/or demolished and whether all or part of each building has been in use for a continuous period of at least six months within the past thirty six months. Any existing buildings into which people do not usually go or only go into intermittently for the purposes of inspecting or maintaining plant or machinery, or which were granted temporary planning permission should not be included here, but should be included in the table in section 7c.

	Brief description of existing building/part of existing building to be retained or demolished.	Gross internal area (sqm) to be retained.	Proposed use of retained gross internal area.	Gross internal area (sqm) to be demolished.	Was the building or part of the building occupied for its lawful use for 6 continuous months of the 36 previous months (excluding temporary permissions)?	When was the building last occupied for its lawful use? Please enter the date (dd/mm/yyyy) or tick still in use.
1					Yes <input type="checkbox"/> No <input type="checkbox"/>	Date: <input type="text"/> or Still in use: <input type="checkbox"/>
2					Yes <input type="checkbox"/> No <input type="checkbox"/>	Date: <input type="text"/> or Still in use: <input type="checkbox"/>
3					Yes <input type="checkbox"/> No <input type="checkbox"/>	Date: <input type="text"/> or Still in use: <input type="checkbox"/>
4					Yes <input type="checkbox"/> No <input type="checkbox"/>	Date: <input type="text"/> or Still in use: <input type="checkbox"/>
Total floorspace						

## 7. Existing Buildings (continued)

c) Does the development proposal include the retention, demolition or partial demolition of any whole buildings which people do not usually go into or only go into intermittently for the purposes of inspecting or maintaining plant or machinery, or which were granted planning permission for a temporary period?

Yes ☐ No ☐

If yes, please complete the following table:

	Brief description of existing building (as per above description) to be retained or demolished.	Gross Internal area (sqm) to be retained	Proposed use of retained gross internal area	Gross Internal area (sqm) to be demolished
1				
2				
3				
4				
Total of which people do not normally go into, only go intermittently to inspect or maintain plant or machinery, or which was granted temporary planning permission				

d) If the development proposal involves the conversion of an existing building, will it be creating a new mezzanine floor within the existing building?

Yes ☐ No ☐

If Yes, how much of the gross internal area proposed will be created by the mezzanine floor?

Use	Mezzanine gross internal area (sqm)

## 8. Declaration

I/we confirm that the details given are correct.

Name:

Mr S Wickham SR Designs

Date (DD/MM/YYYY). Date cannot be pre-application:

25 / 9 / 2019

It is an offence for a person to knowingly or recklessly supply information which is false or misleading in a material respect to a collecting or charging authority in response to a requirement under the Community Infrastructure Levy Regulations (2010) as amended (regulation 110, SI 2010/948). A person guilty of an offence under this regulation may face unlimited fines, two years imprisonment, or both.

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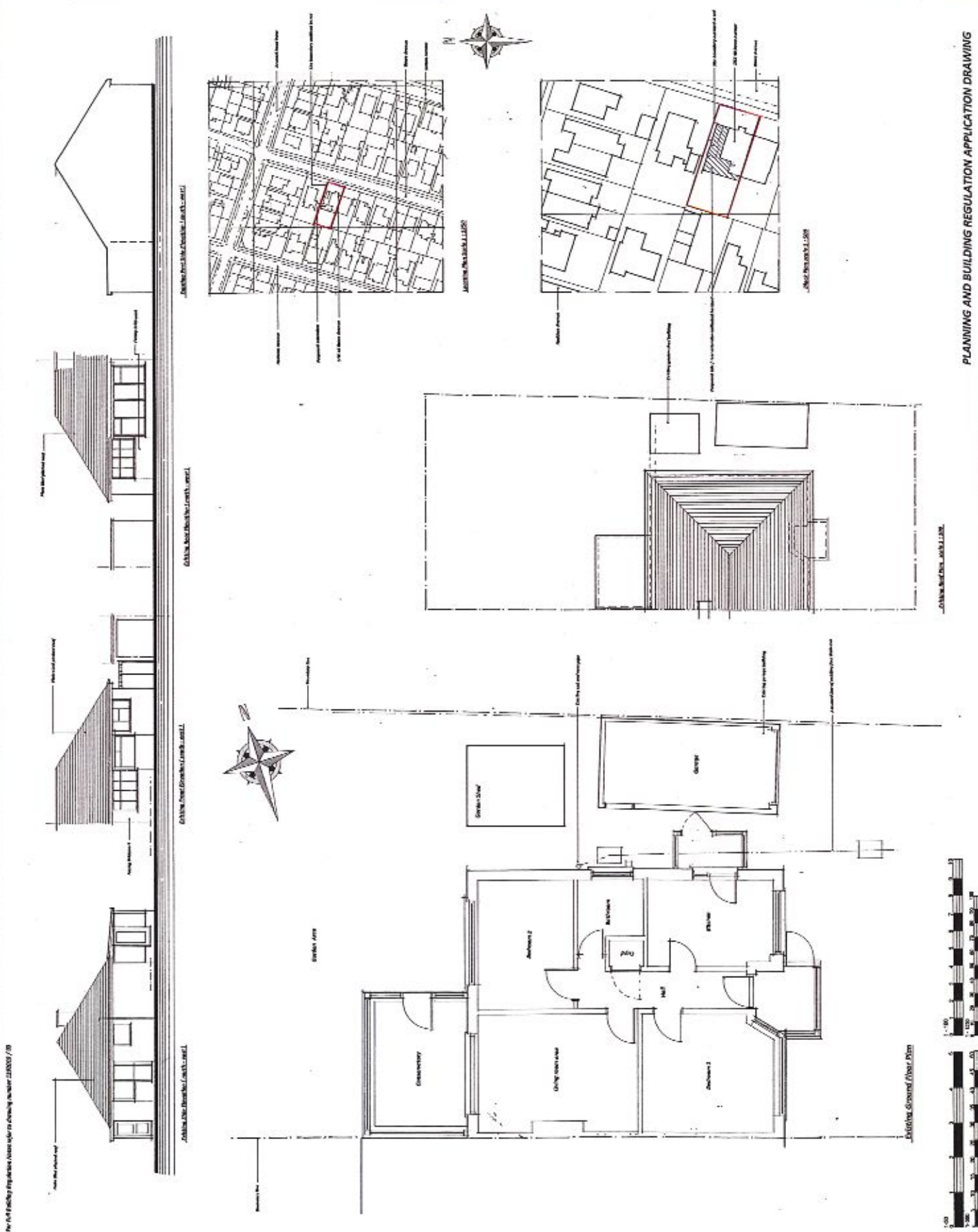
Application reference:







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Architectural & Planning Consultants  
11111 Main Street  
Suite 100  
San Diego, CA 92108  
Tel: 619.594.1111  
Fax: 619.594.1112  
www.sdrdesigns.com

Client:	Mr. & Mrs. J. Doe
Project:	Proposed pitched / flat roof single story side and rear extension to the existing main house and garage, 48, Howe Avenue, Pennington, East Sussex.
Drawing Title:	Existing Ground Floor Plan, Roof Plan, Elevations, Block Plan and Location Plan.
Scale:	1:100, 1:200, 1:500, 1:1000 @ A1
Date:	September 2019
Drawn:	JAD
Check:	
App. No.:	1252019 / 01
Rev.:	





Reference	LW/19/0765
Alternative Reference	PP-08240864
Application Received	Tue 22 Oct 2019
Application Validated	Tue 22 Oct 2019
Address	Land Adjacent To 8 Gold Lane Peacehaven East Sussex
Proposal	Removal of mobile home and erection of one detached dwelling (Following outline planning permission ref: LW/18/0787)
Status	Awaiting decision





Crystal methamphetamine  
 Substituted amphetamine  
 Heroin  
 Cocaine  
 Marijuana

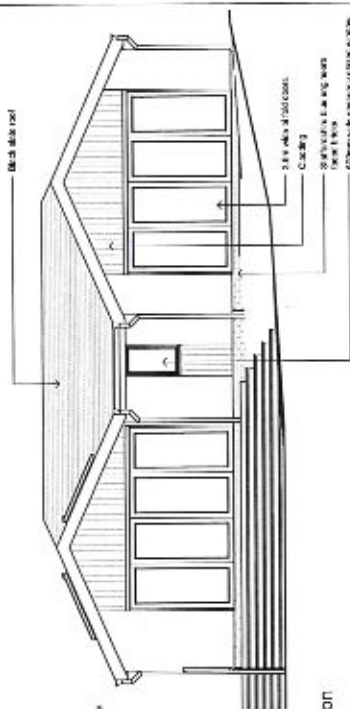
2009-2010	2010-2011
2011-2012	2012-2013

Approved for release  
Date: 08-06-01

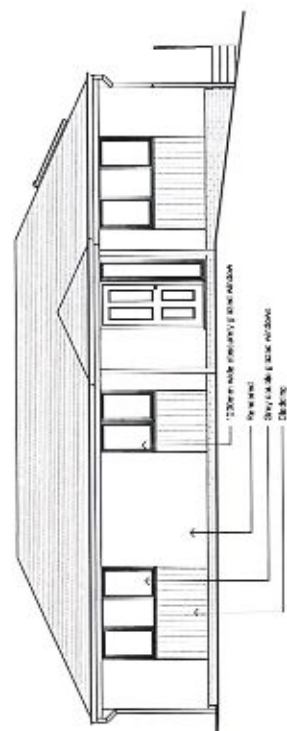
Gold Line  
1-800-368-3683  
www.goldline.com

[illegible]

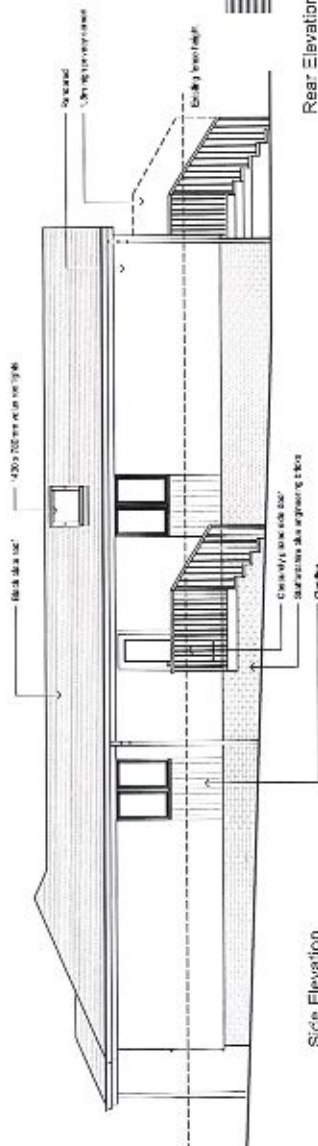
M.J.Humphrey Ltd

[illegible]

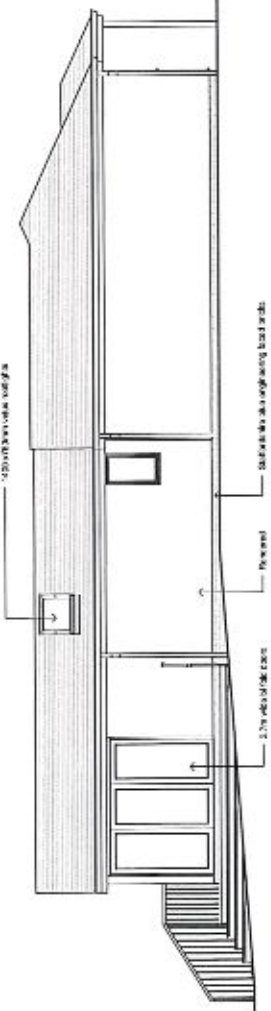
Rear Elevation



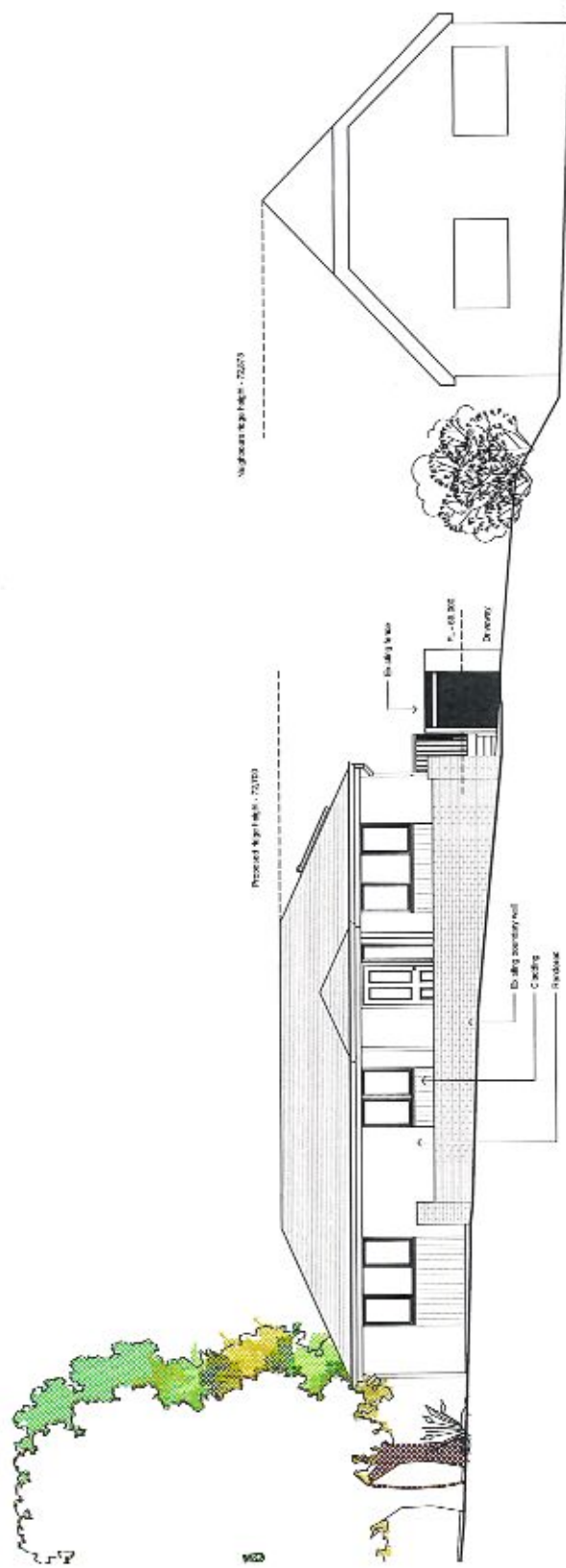
### Front Elevation



Side Elevation



Side Elevation



### Street Scene





- 1. All dimensions are in meters unless stated otherwise.
- 2. All dimensions are to the centerline of the road.
- 3. All dimensions are to the centerline of the road.
- 4. All dimensions are to the centerline of the road.
- 5. All dimensions are to the centerline of the road.

Drawn by:	20/01/2018	Scale:	1:100
Check:	20/01/2018	Scale:	1:100
Project:	Project 2018		

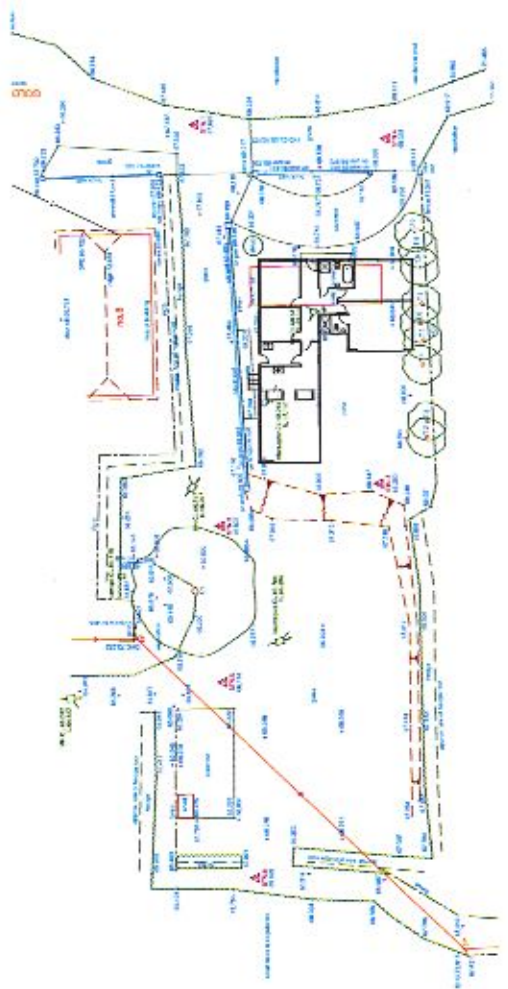
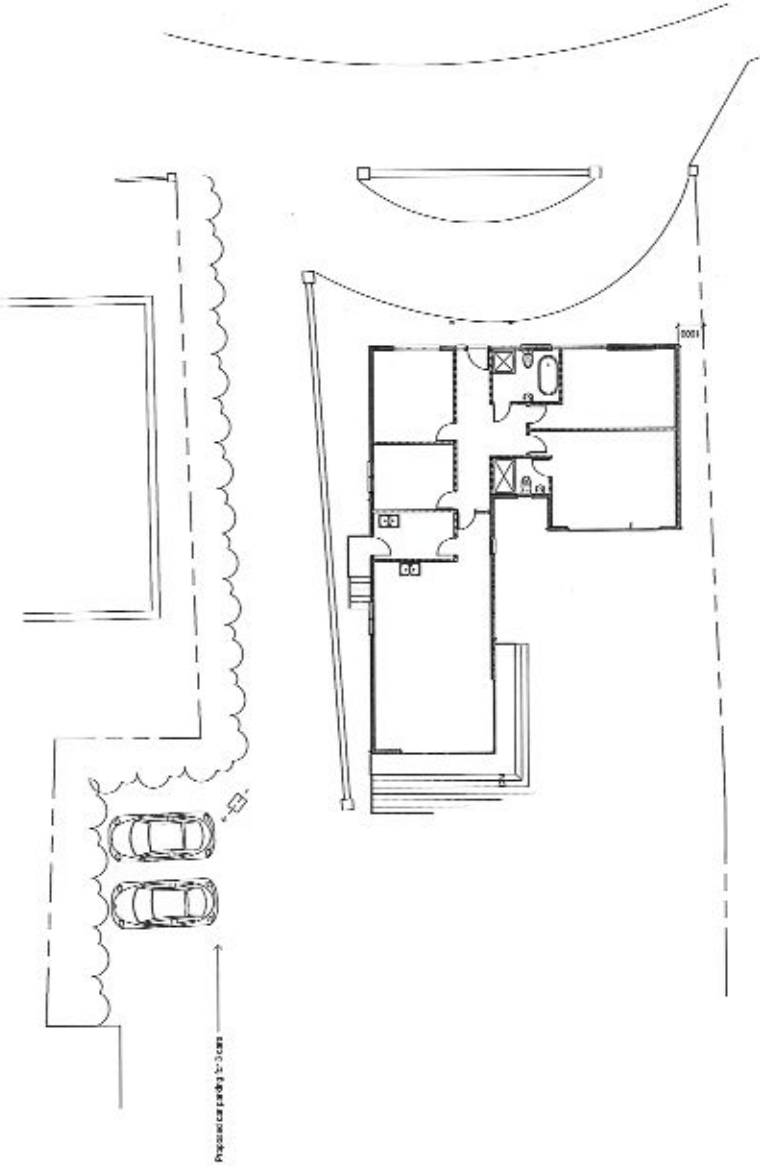
4. All dimensions are to the centerline of the road.

5. All dimensions are to the centerline of the road.

M.J. Humphrey Ltd

RICS

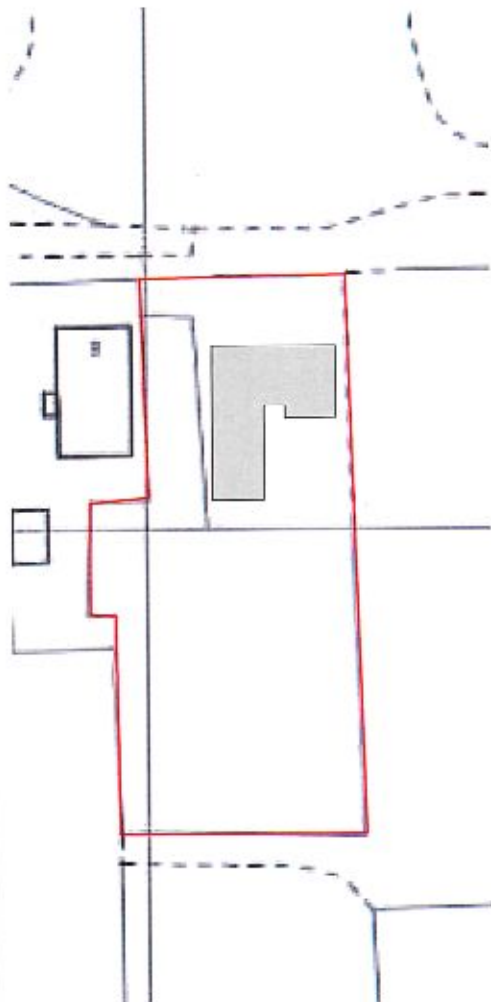
1. All dimensions are to the centerline of the road.



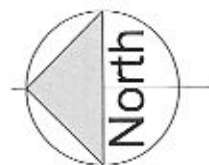
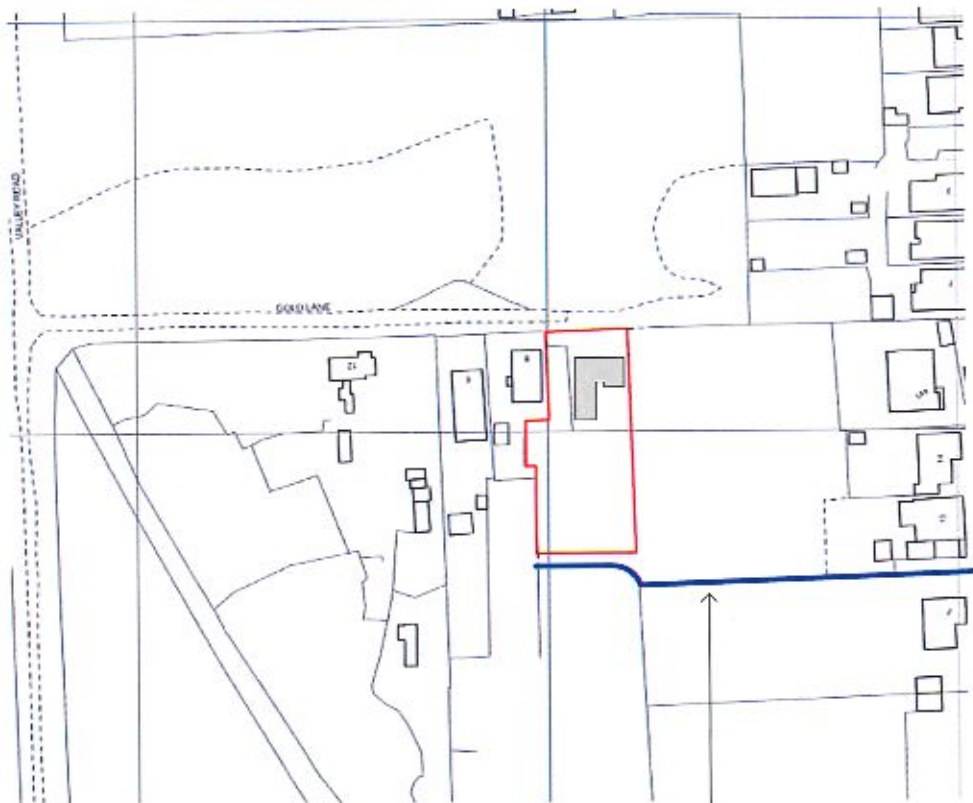




# Site Plan - 1:500



# Site Plan - 1:1250



Foot path

Revisors

Drawing Number: 2019/106 Sheet 1 of 1

Size: A3 Scale: 1:500, 1:1250

Project:

Site Plan  
October 2019

Location:

4 Gold Lane  
Peacehaven  
East Sussex  
BN10 7UF

Do Not scale from this drawing except for planning as photocopies will be subject to distortion. Drawings to be read in conjunction with all other Designers and structural engineers contract drawings and specifications. Any discrepancies must be brought to the attention of the Designer immediately. The contractor must verify all dimensions by site measurement before ordering materials or manufacturing components. Substitute materials and products to those named will be acceptable if proven to be of equal or higher performance and not in conflict with other elements.

M.J.Humphrey Ltd



Mr: Humphrey MRICS, MBEng  
39 Northsea Drive  
Hove  
East Sussex  
BN3 8PQ  
Email: mjh@mhjhumphrey.co.uk  
07701055182  
Adam Humphrey  
9 Rector Road  
Emsworth  
Hampshire  
PO10 7SY  
Adam@mhjhumphrey.co.uk  
07812419142









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## Community Infrastructure Levy (CIL) Form 7: Self Build Exemption Claim Form - Part 1

**Please note:** This version of the form should only be used for submissions relating to planning applications in England. There is a legacy version of the form for use in Wales: [Download the legacy version of this form](#)

**This is Step 2 of a 4 stage exemption process, please note that:**

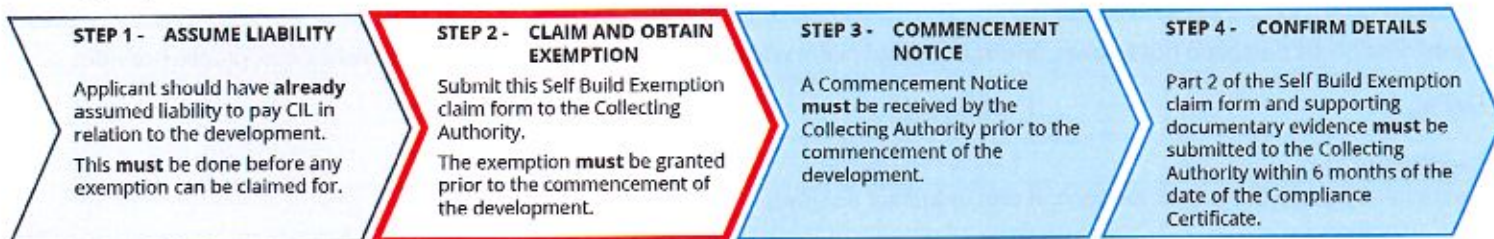
**If your CIL liability notice, or revised CIL liability notice (if issued), was issued prior to 1 September 2019:**

All of the four steps described below need to be followed within required time scales otherwise the exemption will either not be obtained (Steps 1 and 2) or will be rescinded if previously obtained (Steps 3 and 4). A surcharge may also be applied in regard of Step 3.

**If your CIL liability notice, or revised CIL liability notice (if issued), was issued on or after 1 September 2019:**

All of the four steps described below need to be followed within required time scales otherwise the exemption will either not be obtained (Steps 1 and 2) or will be rescinded if previously obtained (Step 4).

The commencement notice requirements (Step 3) must also be complied with prior to commencement of the development or a surcharge equal to either 20% of the notional chargeable amount or £2,500, whichever is the lower amount, will otherwise be applied.



Please complete the form using block capitals and black ink and send to the Collecting Authority.

See [Planning Practice Guidance for CIL](#) for guidance on CIL generally, including "relief from the Levy".

### Privacy Notice

This form is provided by Planning Portal and based on the requirements provided by Government for the sole purpose of submitting information to a Local Authority in accordance with the 'The Community Infrastructure Levy Regulations 2010 (as amended)'.

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Upon receipt of this form and any subsequent information, it is the responsibility of the Local Authority to inform you of its obligations in regards to the processing of this information. Please refer to its website for further information on any legal, regulatory and commercial requirements relating to information security and data protection of the information you have provided.

## Section A: Claiming Exemption - General Information

To be completed by the individual(s) claiming self build exemption.

### 1. Application Details:

Applicant Name: Steve Tiller

Planning Portal Reference (if applicable):

Local authority planning application number (if allocated):

Please provide the full postal address of the application site:

4 Gold Lane  
Peacehaven  
East Sussex  
BN10 7UF

If postal address/postcode not known, or original relief claim was submitted with reference to grid reference, please provide:

Easting:

Northing:

Description:

Removal of mobile home and erection of one detached dwelling

## Section B: Self Build Declaration

I declare that this a "self build project" for purposes of the exemption set out within the regulations ☒

I declare that I will occupy the premises as my sole or main residence for a period of 3 years from completion of the property ☒

I declare that I will provide the required supporting documentation as set out in 'Self Build Exemption Claim Form - Part 2' (see information in Section C below) within 6 months of completion of the property and I understand failure to do this will result in CIL becoming payable ☒

I declare the amount of de minimis State aid received in the last three years prior to submission of this application for relief is less than 200,000 Euro ☒

'Self Build' for the purposes of CIL exemption is defined as all homes built or commissioned by individuals or groups of individuals for their own use, either by building the home on their own or working with builders.

'Completion' for the purposes of CIL exemption is defined as the issuing of a compliance certificate for this development issued under either regulation 17 (completion certificates) of the Building Regulations 2010 or section 51 of the Building Act 1984 (final certificates).

Information about de minimis State Aid for the purposes of CIL exemption can be found at:

<https://www.gov.uk/guidance/community-infrastructure-levy#state-aid-section>



## Section C: Submission of Evidence (following completion)

Important information on self build evidence requirements for Part 2 of Form 7 (Self Build Exemption Claim Form).

### Download Form 7: Self Build Exemption Claim Form - Part

Part 2 of Form 7 (Self Build Exemption Claim Form) needs to be submitted within six months of the date of the Compliance Certificate for the self build development. Please note, in advance, the documentary evidence you will be required to provide along with that form as failure to provide the necessary information will invalidate your exemption, and CIL will become payable:

1. You will need to provide copies of **all** the following items:

- (a) A compliance certificate for this development issued under either:
  - regulation 17 (completion certificates) of the Building Regulations 2010 or
  - section 51 of the Building Act 1984 (final certificates)
- (b) Title deeds of the property to which this exemption relates (freehold or leasehold)
- (c) Council Tax bill or certificate

2. You will need to provide copies of **two** of the following items **showing your name and the address of the property** as proofs of occupation of the home as sole or main residence:

- (a) Utility Bill
- (b) Bank Statement
- (c) Local electoral roll registration

3. You will need to provide a copy of one of the following items (also see notes below):

- (a) An approved claim from HM Revenue and Customs under 'VAT431NB: VAT refunds for DIY housebuilders'
- (b) Proof of a specialist Self Build or Custom Build Warranty\* for your development
- (c) Proof of an approved Self Build or Custom Build Mortgage# from a bank or building society for your development.

**Please note:** The Charging Authority has the discretion, but is not required, to accept other forms of documentary evidence instead of any of the items (a-c) above. This should be agreed in advance with the Charging Authority (at the point of making this Part 1 application for the exemption or as soon as possible thereafter) but the Charging Authority may still consider utilising discretion at this Part 2 stage of the process.

\* A Self Build or Custom Build Warranty is a warranty and Certificate of Approval issued by a Warranty provider which provides a 'latent defects insurance' policy and which is accompanied by certified Stage Completion Certificates (SCC) issued to the owner/occupier of the home.

# A Self Build or Custom Build Mortgage is an approved mortgage arranged to purchase land and/or fund the cost of erecting a home where the loan funds are paid to the owner/occupier in stages as the building works progress to completion.

## Declaration

I confirm that the details given are correct. ☒

I understand:

- (1) That my claim for self build exemption will lapse where development commences prior to the Collecting Authority informing me of its decision ☒
- (2a) (if my CIL Liability Notice or revised CIL Liability Notice was issued prior to 1 September 2019)  
That my claim for exemption will lapse if I fail to provide the Collecting Authority with a Commencement Notice prior to commencement of the chargeable development to which this exemption applies; **OR**
- (2b) (if my CIL Liability Notice or revised CIL Liability Notice was issued on or after 1 September 2019) ☒  
That a surcharge equal to 20% of the notional chargeable amount or £2,500, whichever is the lower amount, will be payable if I fail to provide the Collecting Authority with a Commencement Notice prior to commencement of the chargeable development to which this exemption applies
- (3) That I will lose any exemption granted as a result of this application, and be liable for the full CIL charge, if I do not complete and provide Part 2 of Form 7 (Self Build Exemption Claim Form), along with the requested supporting information, to the Collecting Authority within six months of the Compliance Certificate being issued. ☒
- (4) The meaning of a 'disqualifying event' for CIL self build exemption and that where a disqualifying event occurs before or after commencement of development I must inform the collecting authority within 14 days. ☒

Name - Claimant:

S Tiller

Date (DD/MM/YYYY):

20/10/19

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On receipt of this application the collecting authority will make a decision on your claim as soon as practicable and inform the amount of CIL relief granted in writing. You must then submit a commencement notice to the collecting authority prior to starting on site. Failure to do so will either result in the CIL charge becoming payable in full and a surcharge potentially being applied (if your Liability Notice or revised Liability Notice was issued prior to 1 September 2019), or a surcharge being applied (if your Liability Notice or revised Liability Notice was issued on or after 1 September 2019).





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## Community Infrastructure Levy (CIL) - Form 1: CIL Additional Information

Determining whether a Development may be CIL Liable - For submission with Planning Application

**Please note:** This version of the form should only be used for submissions relating to planning applications in England.

There is a legacy version of the form for use in Wales: [Download the legacy version of this form](#)

Following the introduction of the Community Infrastructure Levy (CIL) all applicants for full planning permission, including householder applications and reserved matters following an outline planning permission, and applicants for lawful development certificates are required to provide the following information.

**Please read the associated Guidance Note before you complete the form. This and additional per-question help can be viewed at:**

[https://ecab.planningportal.co.uk/uploads/1app/cil\\_guidance.pdf](https://ecab.planningportal.co.uk/uploads/1app/cil_guidance.pdf)

Please complete the form using block capitals and black ink and send to the Collecting Authority.

See [Planning Practice Guidance for CIL](#) for guidance on CIL generally, including exemption or relief.

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Upon receipt of this form and any supporting information, it is the responsibility of the Local Authority to inform you of its obligations in regards to the processing of this information. Please refer to its website for further information on any legal, regulatory and commercial requirements relating to information security and data protection of the information you have provided.

### 1. Application Details

Applicant or Agent Name:

Mr Tiller

Planning Portal Reference (if applicable):

Local authority planning application number (if allocated): Lewis

Site Address:

4 Gold Lane  
Peacehaven  
East Sussex  
BN10 7UF

Description of development:

Removal of mobile home and erection of one detached dwelling

## 2. Applications to Remove or Vary Conditions on an Existing Planning Permission

a) Does the application seek to remove or vary conditions on an existing planning permission (i.e. Is it a Section 73 application)?

Yes

If 'Yes', please complete the rest of this question ☐

No

If 'No', you can skip to **Question 3** ☒

b) Please enter the application reference number

c) Does the application involve a change in the amount or use of new build development, where the total (including that previously granted planning permission) is over 100 square metres gross internal area?

Yes ☐ No ☐

d) Does the application involve a change in the amount of gross internal area where one or more new dwellings (including residential annexes) are to be created, either through new build or conversion (except the conversion of a single dwelling house into two or more separate dwellings with no additional gross internal area created)?

Yes ☐ No ☐

If you answered 'Yes' to either c) or d), please go to **Question 5**

If you answered 'No' to both c) and d), you can skip to **Question 8**

## 3. Reserved Matters Applications

a) Does the application relate to details or reserved matters on an existing permission that was granted prior to the introduction of the CIL charge in the relevant local authority area?

Yes

If 'Yes', please complete the rest of this question ☐

No

If 'No', you can skip to **Question 4** ☒

b) Please enter the application reference number

If you answered 'Yes' to a), you can skip to **Question 8**

If you answered 'No' to a), please go to **Question 4**

## 4. Liability for CIL

a) Does the application include new build development (including extensions and replacement) of 100 square metres gross internal area or above?

Yes ☒ No ☐

b) Does the application include creation of one or more new dwellings (including residential annexes) either through new build or conversion (except the conversion of a single dwelling house into two or more separate dwellings with no additional gross internal area created)?

Yes ☒ No ☐

If you answered 'Yes' to either a) or b), please go to **Question 5**

If you answered 'No' to both a) and b), you can skip to **Question 8**



## 5. Exemption or Relief

a) Is the site owned by a charity where the development will be wholly or mainly for charitable purposes, and the development will be either occupied by or under the control of a charitable institution?

Yes ☐ No ☒

b) Does the proposed development include affordable housing which qualifies for mandatory or discretionary Social Housing relief?

Yes ☐ No ☒

If you answered 'Yes' to either a) or b), please note that you will need to complete 'CIL Form 10: Charitable and/or Social Housing Relief Claim'. The form must be submitted to the Collecting Authority, **and** any relief must be granted by them, prior to the commencement of the development. Otherwise the full CIL charge will be payable.

A Commencement (of development) Notice (CIL Form 6) must also be received by the Collecting Authority prior to the commencement of the development otherwise:

- If your CIL Liability Notice was issued on or after 1 September 2019  
A surcharge equal to 20% of the notional CIL chargeable amount or £2,500, whichever is the lower amount, will be incurred; **or**
- If your CIL Liability Notice was issued prior to 1 September 2019  
The relief previously granted will be rescinded and the full levy charge will be payable.

You will also need to complete 'CIL Form 10: Charitable and/or Social Housing Relief Claim' if you think you are eligible for discretionary charitable relief, or discretionary social housing relief (if this is available in your area).

If you wish to claim exceptional circumstances relief, and if the charging authority have made exceptional circumstances relief available in their area (please check their website for details), you will need to complete 'CIL Form 11: Exceptional Circumstances Relief Claim'. The form must be submitted to the Collecting Authority, **AND** any relief must be granted by them, prior to the commencement of the development. Otherwise the full CIL charge will be payable.

All CIL Forms are available from: [www.planningportal.co.uk/cil](http://www.planningportal.co.uk/cil)

c) Do you wish to claim a self build exemption for a whole new home?

Yes ☒ No ☐

If you have answered 'Yes' to c), please note that you will need to complete 'CIL Form 7: Self Build Exemption Claim - Part 1'. This form must be submitted to the Collecting Authority, **and** any exemption must be granted by them, prior to the commencement of the development. Otherwise the full CIL charge will be payable.

A Commencement (of development) Notice (CIL Form 6) must also be received by the Collecting Authority prior to the commencement of the development otherwise:

- If your CIL Liability Notice was issued on or after 1 September 2019  
A surcharge equal to 20% of the notional CIL chargeable amount or £2,500, whichever is the lower amount, will be incurred; **or**
- If your CIL Liability Notice was issued prior to 1 September 2019  
The exemption previously granted will be rescinded and the full levy charge will be payable.

All CIL Forms are available from: [www.planningportal.co.uk/cil](http://www.planningportal.co.uk/cil)

d) Do you wish to claim an exemption for a residential annex or extension?

Yes ☐ No ☒

If you have answered 'Yes' to d), please note that you will need to complete either 'CIL Form 8: Residential Annex Exemption Claim' or 'CIL Form 9: Residential Extension Exemption Claim'. The relevant form must be submitted to the Collecting Authority, **and** any exemption must be granted by them, prior to the commencement of the development. Otherwise the full CIL charge will be payable.

In respect of a residential annex, a Commencement (of development) Notice (CIL Form 6) must also be received by the Collecting Authority prior to the commencement of the development otherwise:

- If your CIL Liability Notice was issued on or after 1 September 2019  
A surcharge equal to 20% of the notional CIL chargeable amount or £2,500, whichever is the lower amount, will be incurred; **or**
- If your CIL Liability Notice was issued prior to 1 September 2019  
The exemption previously granted will be rescinded and the full levy charge will be payable.

All CIL Forms are available from: [www.planningportal.co.uk/cil](http://www.planningportal.co.uk/cil)

## 6. Proposed New Gross Internal Area

a) Does the application involve new **residential development** (including new dwellings, extensions, conversions/changes of use, garages, basements or any other buildings ancillary to residential use)?

Please note, conversion of a single dwelling house into two or more separate dwellings (without extending them) is **not** liable for CIL. If this is the sole purpose of your development proposal, you should answer 'No' to Question 4b above.

Yes ☐ No ☐

If yes, please complete the table in section 6c below, providing the requested information, including the gross internal area relating to new dwellings, extensions, conversions, garages or any other buildings ancillary to residential use.

b) Does the application involve new **non-residential development**?

Yes ☐ No ☐

If yes, please complete the table in section 6c below, using the information from your planning application.

c) Proposed gross internal area:

Development type	(i) Existing gross internal area (square metres)	(ii) Gross internal area to be lost by change of use or demolition (square metres)	(iii) Total gross internal area proposed (including change of use, basements, and ancillary buildings) (square metres)	(iv) Net additional gross internal area following development (square metres) (iv) = (iii) - (ii)
Market Housing (if known)	0	0	127.5	
Social Housing, including shared ownership housing (if known)				
Total residential				
Total non-residential				
Grand total				

## 7. Existing Buildings

a) How many existing buildings on the site will be retained, demolished or partially demolished as part of the development proposed?

Number of buildings: 0

b) Please state for each existing building/part of an existing building that is to be retained or demolished, the gross internal area that is to be retained and/or demolished and whether all or part of each building has been in use for a continuous period of at least six months within the past thirty six months. Any existing buildings into which people do not usually go or only go into intermittently for the purposes of inspecting or maintaining plant or machinery, or which were granted temporary planning permission should not be included here, but should be included in the table in section 7c.

	Brief description of existing building/part of existing building to be retained or demolished.	Gross internal area (sqm) to be retained.	Proposed use of retained gross internal area.	Gross internal area (sqm) to be demolished.	Was the building or part of the building occupied for its lawful use for 6 continuous months of the 36 previous months (excluding temporary permissions)?	When was the building last occupied for its lawful use? Please enter the date (dd/mm/yyyy) or tick still in use.
1					Yes <input type="checkbox"/> No <input type="checkbox"/>	Date: <input type="text"/> or Still in use: <input type="checkbox"/>
2					Yes <input type="checkbox"/> No <input type="checkbox"/>	Date: <input type="text"/> or Still in use: <input type="checkbox"/>
3					Yes <input type="checkbox"/> No <input type="checkbox"/>	Date: <input type="text"/> or Still in use: <input type="checkbox"/>
4					Yes <input type="checkbox"/> No <input type="checkbox"/>	Date: <input type="text"/> or Still in use: <input type="checkbox"/>
Total floorspace						



## 7. Existing Buildings (continued)

c) Does the development proposal include the retention, demolition or partial demolition of any whole buildings which people do not usually go into or only go into intermittently for the purposes of inspecting or maintaining plant or machinery, or which were granted planning permission for a temporary period?

Yes ☐ No ☐

If yes, please complete the following table:

	Brief description of existing building (as per above description) to be retained or demolished.	Gross internal area (sqm) to be retained	Proposed use of retained gross internal area	Gross internal area (sqm) to be demolished
1				
2				
3				
4				
Total of which people do not normally go into, only go intermittently to inspect or maintain plant or machinery, or which was granted temporary planning permission				

d) If the development proposal involves the conversion of an existing building, will it be creating a new mezzanine floor within the existing building?

Yes ☐ No ☒

If Yes, how much of the gross internal area proposed will be created by the mezzanine floor?

Use	Mezzanine gross internal area (sqm)

## 8. Declaration

I/we confirm that the details given are correct.

Name:

Humphrey

Date (DD/MM/YYYY). Date cannot be pre-application:

20/10/19

It is an offence for a person to knowingly or recklessly supply information which is false or misleading in a material respect to a collecting or charging authority in response to a requirement under the Community Infrastructure Levy Regulations (2010) as amended (regulation 110, SI 2010/948). A person guilty of an offence under this regulation may face unlimited fines, two years imprisonment, or both.

## For local authority use only

Application reference:



## **DESIGN, ACCESS AND PLANNING STATEMENT**

**No. 4 GOLD LANE, PEACEHAVEN, EAST SUSSEX**

**BN10 7UF**

### **OUTLINE APPLICATION FOR THE REMOVAL OF MOBILE HOME AND ERECTION OF ONE DETACHED DWELLING**

#### **Introduction and description**

1. This statement accompanies an outline planning application for a new dwelling on land to the west of Gold Lane. The Plot was formerly the site of two bungalows, St James, which stood to the front of the plot, and Turretts, which stood to the rear. The purpose of the application is to establish the principle that a dwelling can be built on the site. All detailed matters of design, access, layout and landscaping are reserved for future consideration, but illustrative plans accompany the application to demonstrate in general terms how the intended arrangement and size of dwelling could be accommodated on the site.

2. The site lies to the south of two houses fronting Gold Lane, and north of a small block of woodland situated to the rear of houses fronting Johns Close, off Telscombe Road. A private pedestrian footpath leads from the rear of the site to Johns Close, some 95 metres distant. The application site has a long established (in excess of 10 years) residential mobile home stationed on it, with an access drive and hardstanding. The mobile home has main services connected and a private sewerage system within the plot to the rear. Otherwise, the site itself is maintained as mown lawn.

### Planning principle

3. The site is located within 50 metres of the development boundary of Peacehaven, as defined in the Lewes District Local Plan 2003 and Core Strategy Part 1. The site is of sufficient size to comfortably accommodate a detached dwelling at a density that would be in keeping with the pattern of housing in the immediate vicinity.
4. Support is given by paragraph 11 of NPPF, which, in defining the presumption in favour of sustainable development, indicates that:

*where the policies that are most important for determining the application are out of date, granting permission unless:*

*the application of policies in this framework that protect areas or assets of particular importance provides a clear reason for refusing the development proposed*

*any adverse impacts of doing so would significantly and demonstrably outweigh the benefits, when assessed against the policies in this Framework taken as a whole;*

Footnote 7 to paragraph 11 indicates that policies are out of date where a five-year housing land supply cannot be demonstrated.

5. In addition, paragraph 59 of NPPF seeks to significantly boost the supply of housing.
6. In regard to the presumption in favour of sustainable development, the location here is within a short walking distance (approximately 100 metres via the private footpath) of bus stops on Telscombe Road. These have regular services to all the facilities of Peacehaven and on to Brighton. The site is also approximately 750 metres from a convenience store and 650 metres from a primary school. The site is therefore sustainably located in regard to immediate access to a range of local services and public transport via non-car modes of transport.
7. In light of the above, little weight can attach to Local Plan policies in so far as they relate to the location and supply of housing. In addition, the site, adjacent to other houses and within a few tens of metres of the defined development boundary, and in close proximity to public transport, is not 'isolated' so the provisions of paragraph 79 of the NPPF do not apply either.



8. In regard to the previous refusal and appeal decision, the policy position, in terms of the NPPF and housing land supply, was entirely different, so previous findings regarding the principle of development here no longer apply. On the details of the proposal, the appeal was concerned with a substantial two storey house, whereas what is contemplated now is an altogether more modest single storey dwelling.

### **Planning analysis**

9. Given the housing land supply position, the key planning issues here are whether the proposed development would be sustainable, in terms of its location and its impact on the character of the area. In addition, whether the proposal would give rise to any adverse impacts that would significantly and demonstrably outweigh the benefits. The sustainability of the location in transport terms has been established above. Whilst the application is in outline, it is also pertinent to consider detailed matters, such as impacts on landscape, neighbour amenity, and impacts on trees, to determine whether adverse impacts might arise.

10. In regard to the character of the area, the site lies adjacent to two large chalet bungalows. It already has a domestic character, due to its access drive, brick walling to the lane frontage, mobile home, and mown grass, and no change is proposed to the established pattern of plots. In addition, its history is that of residential development, given the two bungalows previously located on it. The presence of water, private sewerage system, and electricity on site confirms this, even though the above ground remnants of the former dwellings have now been cleared away, although the footings still remain. The site is visually well contained by trees and scrub to the south and west, and by the adjacent bungalow to the north.

11. The addition of a bungalow here, as illustrated on the accompanying plans, would have minimal landscape or visual impact. In longer views south from across the valley, it would be screened by the adjacent, taller house, and the site is well-screened to the south and east such that there would be no other wider views of the dwelling. To the limited extent it might be seen from the north-east, it would be partially screened by the adjacent house and would be seen against the backdrop of taller trees and vegetation behind it. It would not therefore be at all prominent. Accordingly, the pattern and character of development in the immediate vicinity would be retained. Development of the site would not have any adverse implications for the downland of the National Park. There would, therefore, be no conflict with the

intent of countryside protection policy and no significant or demonstrable adverse impacts to outweigh the benefits.

12. The proposed house can readily be accommodated without harm to any neighbours' amenities, in terms of potential impacts on light, outlook or privacy.

13. In light of the above considerations, the proposal conforms with the three dimensions of sustainable development set out at Paragraph 8 of NPPF. There would be an economic benefit to creating an additional house, both in its construction and, once built, its contribution towards the maintenance of local facilities. The latter would contribute to the social role, supporting the local community. The environmental role is met through the protection and enhancement of the natural environment, and through appropriate construction and energy usage, these latter considerations secured at the detailed stage.

### **Conclusions**

14. The site is sustainably located in regard to proximity to public transport and other local facilities via non-car modes of transport and conforms with the three dimensions of sustainable development set out in NPPF. The proposal delivers an additional dwelling which contributes to the housing land supply shortfall. The proposed dwelling would be of a scale and design to sit comfortably in its surroundings. There are no 'significant and demonstrable' adverse impacts associated with the development. In light of the above, the presumption in favour of sustainable development should apply.

Prepared by Michael Dade BSc MRICS

08/10/2018





**Lewes District Council**

## Planning Services

Southover House, Southover Road, Lewes  
East Sussex BN7 1AB

planning@lewes.gov.uk / Tel: 01273 484420 / Fax: 01273 484452

### Application for Planning Permission. Town and Country Planning Act 1990

#### Publication of applications on planning authority websites.

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

#### 1. Site Address

Number	4
Suffix	
Property name	Gold Lane
Address line 1	
Address line 2	
Address line 3	Peacehaven
Town/city	East Sussex
Postcode	BN10 7UF

Description of site location must be completed if postcode is not known:

Easting (x)	541212
Northing (y)	102789

Description

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#### 2. Applicant Details

Title	
First name	Steve
Surname	Tiller
Company name	
Address line 1	4 Farmhill
Address line 2	
Address line 3	Woodingdean
Town/city	Brighton
Country	East Sussex

## 2. Applicant Details

Postcode	BN2 6BH
Primary number	
Secondary number	
Fax number	
Email address	

Are you an agent acting on behalf of the applicant?

☒ Yes ☐ No

## 3. Agent Details

Title	Mr
First name	Mel
Surname	Humphrey
Company name	Mel Humphrey RICS C.Build E MCABE
Address line 1	39 Northcote Drive
Address line 2	
Address line 3	
Town/city	Hove
Country	East Sussex
Postcode	BN3 8PQ
Primary number	
Secondary number	
Fax number	
Email	

## 4. Site Area

What is the measurement of the site area? (numeric characters only).	1170
Unit	sq.metres

## 5. Description of the Proposal

Please describe details of the proposed development or works including any change of use.

If you are applying for Technical Details Consent on a site that has been granted Permission In Principle, please include the relevant details in the description below.

Removal of mobile home and erection of one detached dwelling ( Following outline planning permission ref: LW/18/0787)

Has the work or change of use already started?

☐ Yes ☒ No



## 6. Existing Use

Please describe the current use of the site

See statement

Is the site currently vacant?

☐ Yes ☒ No

Does the proposal involve any of the following? If Yes, you will need to submit an appropriate contamination assessment with your application.

Land which is known to be contaminated

☐ Yes ☒ No

Land where contamination is suspected for all or part of the site

☐ Yes ☒ No

A proposed use that would be particularly vulnerable to the presence of contamination

☐ Yes ☒ No

## 7. Materials

Does the proposed development require any materials to be used?

☒ Yes ☐ No

Please provide a description of existing and proposed materials and finishes to be used (including type, colour and name for each material):

Walls	
Description of existing materials and finishes (optional):	
Description of proposed materials and finishes:	Staffordshire blue engineering bricks, render, and feature cladding

Roof	
Description of existing materials and finishes (optional):	
Description of proposed materials and finishes:	Black slate

Windows	
Description of existing materials and finishes (optional):	
Description of proposed materials and finishes:	Grey windows and doors

Are you supplying additional information on submitted plans, drawings or a design and access statement?

☒ Yes ☐ No

If Yes, please state references for the plans, drawings and/or design and access statement

Please see attached drawings.

## 8. Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicular access proposed to or from the public highway?

☐ Yes ☒ No

Is a new or altered pedestrian access proposed to or from the public highway?

☐ Yes ☒ No

Are there any new public roads to be provided within the site?

☐ Yes ☒ No

Are there any new public rights of way to be provided within or adjacent to the site?

☐ Yes ☒ No

Do the proposals require any diversions/extinguishments and/or creation of rights of way?

☐ Yes ☒ No

## 9. Vehicle Parking

Is vehicle parking relevant to this proposal?

☐ Yes ☒ No

## 10. Trees and Hedges

Are there trees or hedges on the proposed development site?

☒ Yes ☐ No

And/or: Are there trees or hedges on land adjacent to the proposed development site that could influence the development or might be important as part of the local landscape character?

☐ Yes ☒ No

If Yes to either or both of the above, you may need to provide a full tree survey, at the discretion of your local planning authority. If a tree survey is required, this and the accompanying plan should be submitted alongside your application. Your local planning authority should make clear on its website what the survey should contain, in accordance with the current 'BS5837: Trees in relation to design, demolition and construction - Recommendations'.

## 11. Assessment of Flood Risk

Is the site within an area at risk of flooding? (Refer to the Environment Agency's Flood Map showing flood zones 2 and 3 and consult Environment Agency standing advice and your local planning authority requirements for information as necessary.)

☐ Yes ☒ No

If Yes, you will need to submit a Flood Risk Assessment to consider the risk to the proposed site.

Is your proposal within 20 metres of a watercourse (e.g. river, stream or beck)?

☐ Yes ☒ No

Will the proposal increase the flood risk elsewhere?

☐ Yes ☒ No

How will surface water be disposed of?

☒ Sustainable drainage system

☐ Existing water course

☒ Soakaway

☐ Main sewer

☐ Pond/lake

## 12. Biodiversity and Geological Conservation

Is there a reasonable likelihood of the following being affected adversely or conserved and enhanced within the application site, or on land adjacent to or near the application site?

To assist in answering this question correctly, please refer to the help text which provides guidance on determining if any important biodiversity or geological conservation features may be present or nearby; and whether they are likely to be affected by the proposals.

a) Protected and priority species:

- ☐ Yes, on the development site  
☐ Yes, on land adjacent to or near the proposed development  
☒ No

b) Designated sites, important habitats or other biodiversity features:

- ☐ Yes, on the development site  
☐ Yes, on land adjacent to or near the proposed development  
☒ No

c) Features of geological conservation importance:

- ☐ Yes, on the development site  
☐ Yes, on land adjacent to or near the proposed development  
☒ No

## 13. Foul Sewage

Please state how foul sewage is to be disposed of:

### 13. Foul Sewage

- ☐ Mains Sewer  
☒ Septic Tank  
☐ Package Treatment plant  
☐ Cess Pit  
☐ Other  
☐ Unknown

Are you proposing to connect to the existing drainage system?

☐ Yes ☒ No ☐ Unknown

### 14. Waste Storage and Collection

Do the plans incorporate areas to store and aid the collection of waste?

☐ Yes ☒ No

Have arrangements been made for the separate storage and collection of recyclable waste?

☐ Yes ☒ No

### 15. Trade Effluent

Does the proposal involve the need to dispose of trade effluents or trade waste?

☐ Yes ☒ No

### 16. Residential/Dwelling Units

Due to changes in the information requirements for this question that are not currently available on the system, if you need to supply details of Residential/Dwelling Units for your application please follow these steps:

1. Answer 'No' to the question below;
2. Download and complete this supplementary information template (PDF);
3. Upload it as a supporting document on this application, using the 'Supplementary Information template' document type.

This will provide the local authority with the required information to validate and determine your application.

Does your proposal include the gain, loss or change of use of residential units?

☒ Yes ☐ No

Please select the proposed housing categories that are relevant to your proposal.

- ☒ Market  
☐ Social  
☐ Intermediate  
☐ Key Worker

Add 'Market' residential units

Market: Proposed Housing						
	Number of bedrooms					
	1	2	3	4+	Unknown	Total
Houses	0	0	0	1	0	1
Total	0	0	0	1	0	1

Please select the existing housing categories that are relevant to your proposal.

- ☐ Market  
☐ Social  
☐ Intermediate  
☐ Key Worker

Total proposed residential units

1

Total existing residential units

0



### 17. All Types of Development: Non-Residential Floorspace

Does your proposal involve the loss, gain or change of use of non-residential floorspace?

☐ Yes ☒ No

### 18. Employment

Will the proposed development require the employment of any staff?

☐ Yes ☒ No

### 19. Hours of Opening

Are Hours of Opening relevant to this proposal?

☐ Yes ☒ No

### 20. Industrial or Commercial Processes and Machinery

Please describe the activities and processes which would be carried out on the site and the end products including plant, ventilation or air conditioning. Please include the type of machinery which may be installed on site:

Is the proposal for a waste management development?

☐ Yes ☒ No

If this is a landfill application you will need to provide further information before your application can be determined. Your waste planning authority should make it clear what information it requires on its website

### 21. Hazardous Substances

Does the proposal involve the use or storage of any hazardous substances?

☐ Yes ☒ No

### 22. Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

☒ Yes ☐ No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact?

- ☐ The agent  
☒ The applicant  
☐ Other person

### 23. Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

☐ Yes ☒ No

### 24. Authority Employee/Member

With respect to the Authority, is the applicant and/or agent one of the following:

- (a) a member of staff  
(b) an elected member  
(c) related to a member of staff  
(d) related to an elected member

It is an important principle of decision-making that the process is open and transparent.

☐ Yes ☒ No

For the purposes of this question, "related to" means related, by birth or otherwise, closely enough that a fair-minded and informed observer, having considered the facts, would conclude that there was bias on the part of the decision-maker in the Local Planning Authority.

Do any of the above statements apply?

### 25. Ownership Certificates and Agricultural Land Declaration

CERTIFICATE OF OWNERSHIP - CERTIFICATE A - Town and Country Planning (Development Management Procedure) (England) Order 2015 Certificate under Article 14

I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/the applicant was the owner\* of any



## 25. Ownership Certificates and Agricultural Land Declaration

part of the land or building to which the application relates, and that none of the land to which the application relates is, or is part of, an agricultural holding\*\*

\* 'owner' is a person with a freehold interest or leasehold interest with at least 7 years left to run. \*\* 'agricultural holding' has the meaning given by reference to the definition of 'agricultural tenant' in section 65(8) of the Act.

NOTE: You should sign Certificate B, C or D, as appropriate, if you are the sole owner of the land or building to which the application relates but the land is, or is part of, an agricultural holding.

Person role

- ☐ The applicant  
☒ The agent

Title

First name

Surname

Declaration date  
(DD/MM/YYYY)

☒ Declaration made

## 26. Declaration

I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information. I/we confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine opinions of the person(s) giving them. ☒

Date (cannot be pre-application)



Reference	LW/19/0752
Alternative Reference	PP-08227111
Application Received	Wed 16 Oct 2019
Application Validated	Wed 16 Oct 2019
Address	244 South Coast Road Peacehaven East Sussex BN10 7NP
Proposal	Proposed New Signage to replace that of existing
Status	Awaiting decision

15





# Nationwide

## Branch Investment Programme

### FRONTAGE PACK

DATE: 14th October 2019

### ER PACK

**PEACEHAVEN (1306)**  
244 South Coast Road  
Peacehaven  
East Sussex  
BN10 7NP

Investment Category: **BRAND UPDATE**

Investment Year: **2021-22**

TOTAL AREA: **77m<sup>2</sup>**

FRONTAGE WIDTH: **5.84m (approx)**

Listed: No

Conservation Area: No

Notes: Freehold

Current Technical Manual version is V\_6.0  
Best Practice Bulletin 078, 81



**Barnwood**  
Shopfitting

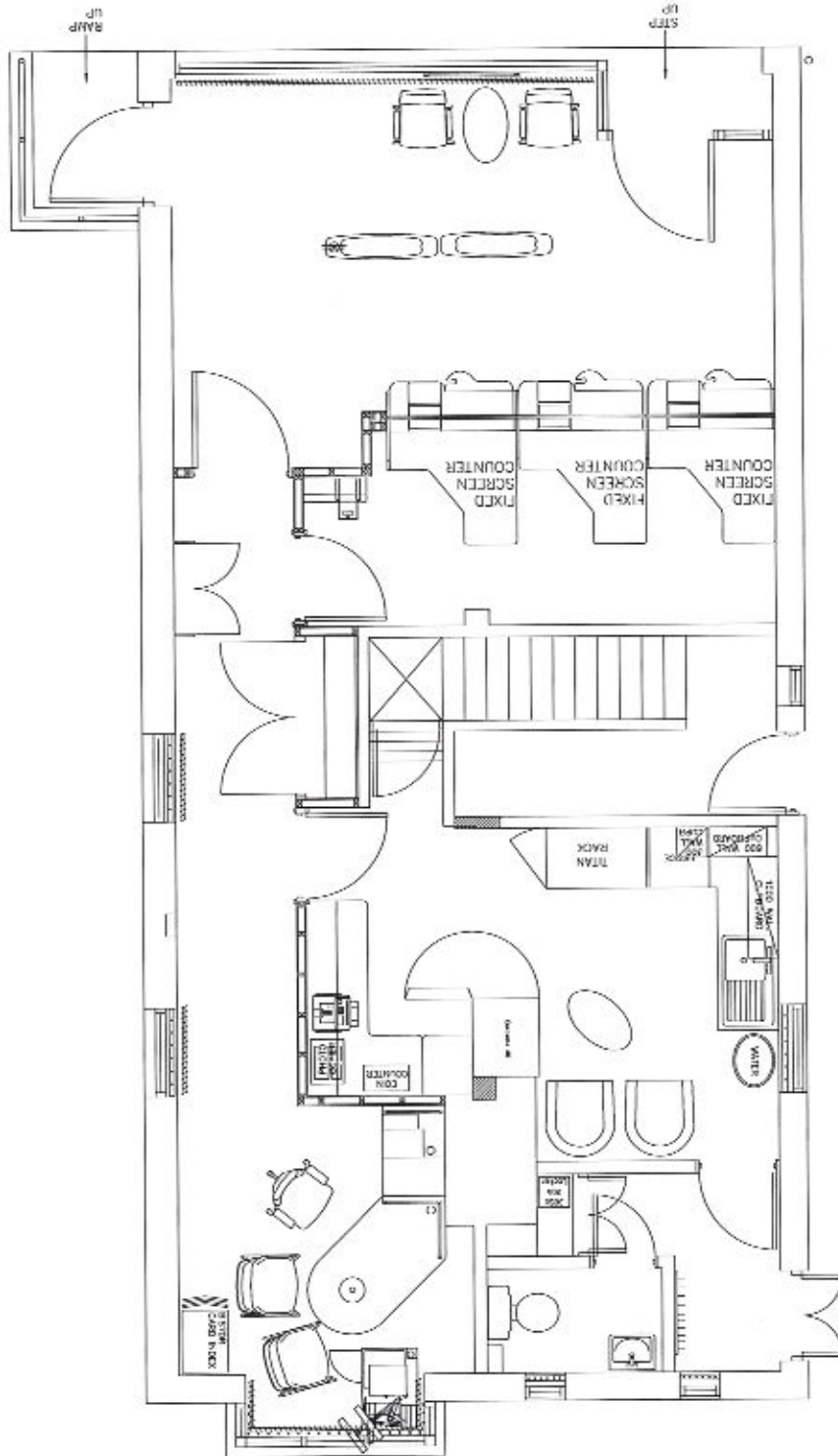
Drawing No.	Rev	Title
1306-00	-	Contents
1306-01	-	Existing Ground Floor GA
1306-02	-	Existing Elevation
1306-03	A	Proposed Elevation
1306-04	-	Photosheet
1306-05	-	Facilities Management Scope Sheet

<div><div><div>Barnwood Shopping</div><div>203 Barnwood Rd</div><div>Barnwood</div><div>Gloucester, GL4 3HS</div><div>Phone: (01452) 614124</div></div></div>	<div><div><div>This book is a reprint of an American book published in 1974 by the author and is not available in paperback. All rights reserved. No part of this publication may be reproduced, stored in a retrieval system, or transmitted, in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of the publisher.</div><div>Copyright © 2008 by the author. All rights reserved.</div></div></div>	<div><div><div><div><div><div></div><div></div></div><div><div></div><div></div></div></div><div><div></div><div></div></div></div><div><div><div></div><div></div></div><div><div></div><div></div></div></div><div><div></div><div></div></div></div></div> <div><div><div></div><div></div></div><div><div></div><div></div></div></div> <div><div></div><div></div></div> <div><div><div></div><div></div></div><div><div></div><div></div></div></div> <div><div></div><div></div></div> <div><div><div></div><div></div></div><div><div></div><div></div></div></div> <div><div></div><div></div></div> <div><div><div></div><div></div></div><div><div></div><div></div></div></div> <div><div></div><div></div></div> <div><div><div></div><div></div></div><div><div></div><div></div></div></div> <div><div></div><div></div></div> <div><div><div></div><div></div></div><div><div></div><div></div></div></div> <div><div></div><div></div></div> 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1:100



NOTE  
Drawing is for illustrative purposes only.

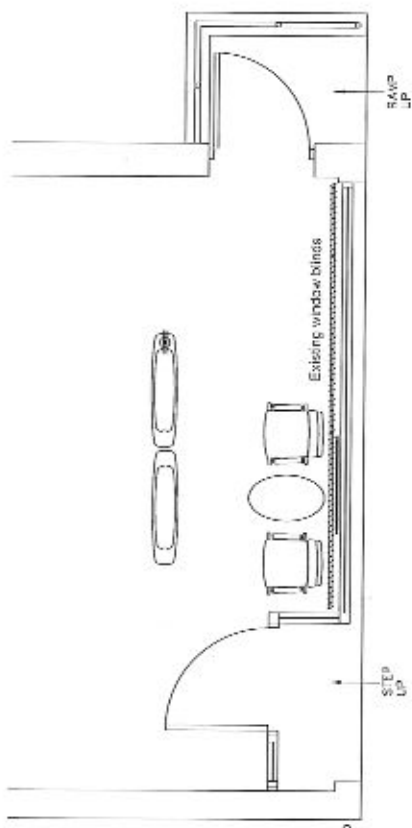


Existing GA  
Scale: 1:50

<p>PEACEHAVEN 244 South Coast Road Peacehaven BN10 7NP Phone: 1505</p>	<p>PEACEHAVEN Branch Transformation Programme</p>	<p><b>Nationwide</b></p>	<p>203 Barnwood Rd Barnwood Gloucester, GL4 3JL Phone: (01452) 614124</p>	<p><b>Barnwood</b> Shooting</p>
<p>EXISTING GROUND FLOOR GA</p>	<p>PEACEHAVEN 244 South Coast Road Peacehaven BN10 7NP Phone: 1505</p>	<p><b>Nationwide</b></p>	<p>203 Barnwood Rd Barnwood Gloucester, GL4 3JL Phone: (01452) 614124</p>	<p><b>Barnwood</b> Shooting</p>

**EXISTING SH-OFFRONT DETAILS:**

- Aluminium spigoted shopfront
- Automatic entrance doors
- Illuminated fascia signage
- Ceramic tiled lobby floors
- Painted radiator fasciae



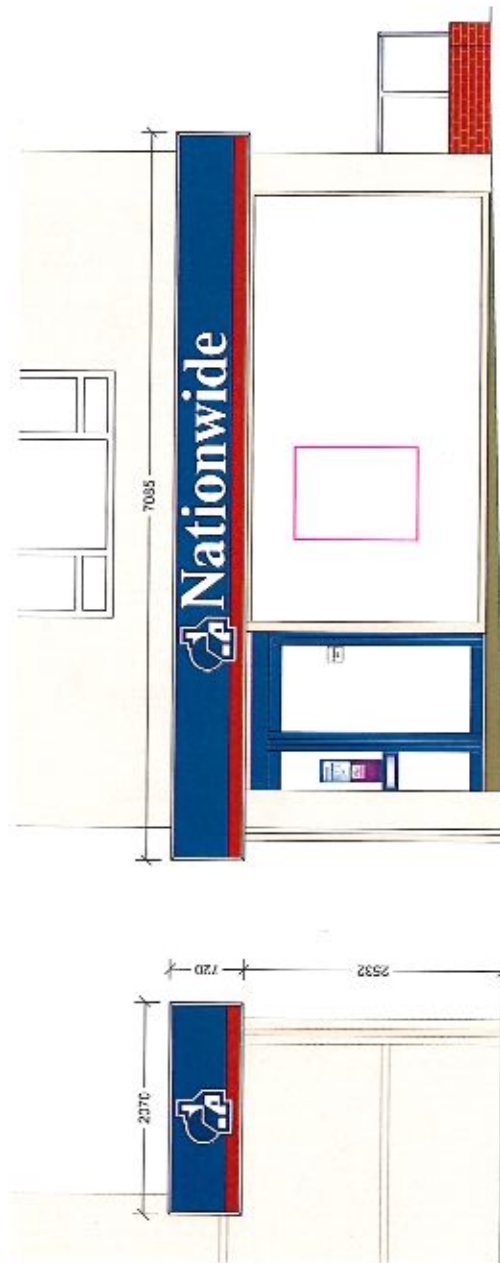
Existing Plan (Part)  
Scale: 1:50



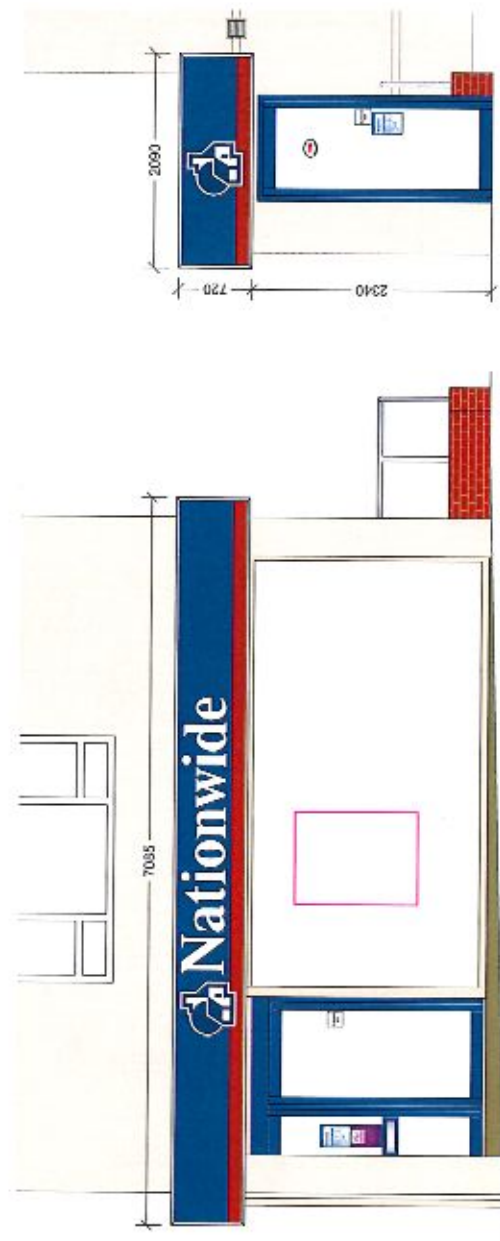
NOTES:  
Drawing for information purposes only.



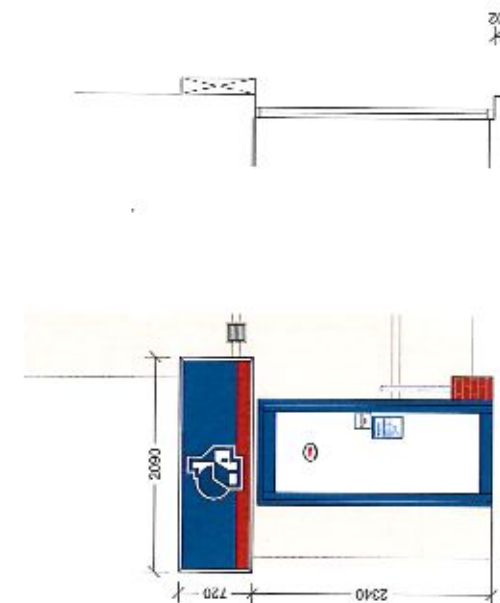
Existing Elevation



Existing LH Elevation  
Scale: 1:50



Existing Front Elevation  
Scale: 1:50



Existing RH Elevation  
Scale: 1:50

Existing Ht Section  
Scale: 1:50

**Barnwood**  
Shopping

203 Barnwood Rd  
Barnwood  
Gloucester, GL4 3HS  
Phone: (01452) 614124

The above information is for information only and does not constitute an offer of any financial product. It is not intended to be used as a basis for investment decisions. The information is provided for general information only and should not be relied upon for any specific purpose. The information is provided for general information only and should not be relied upon for any specific purpose.



**PEACEHAVEN**  
Branch Transformation Programme

PEACEHAVEN  
2nd South Coast Road  
Peacehaven  
BN27 7PE  
Project 1338

EXISTING ELEVATION  
DATE: 13.09.19  
BY: JY

DATE

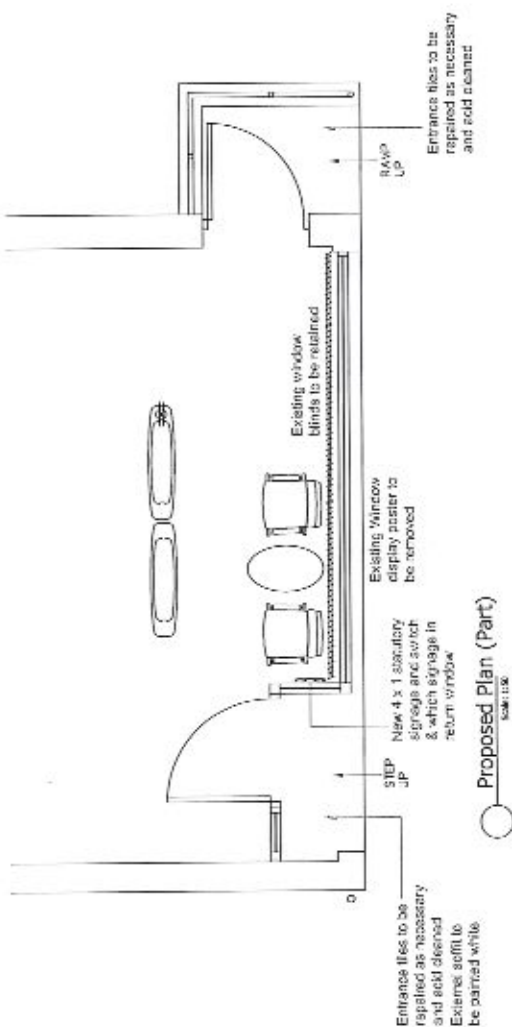




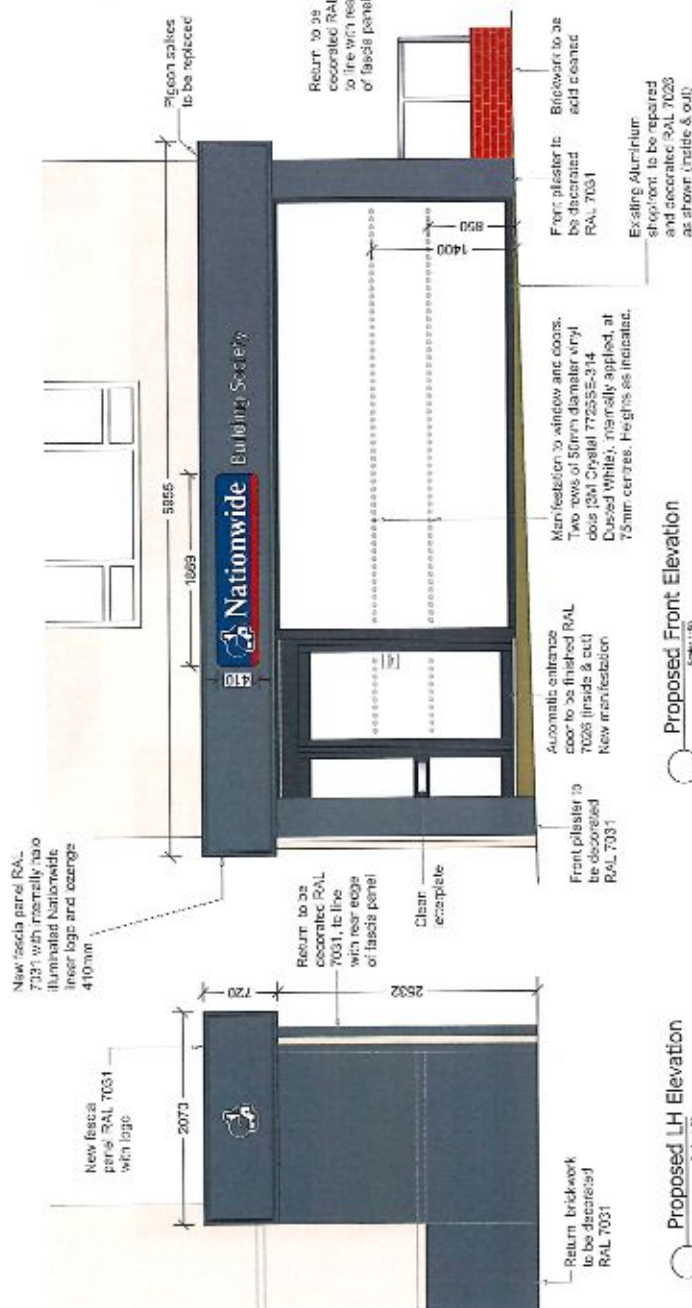
NOTE:  
Consolidating for liquidation purposes only.



Existing Elevation



Proposed Plan (Part)



Proposed Front Elevation

Proposed LH Elevation

Proposed RH Elevation

Proposed Ht Section

A Projecting sign removed, logo added to return fascia panels.  
 Decoration to return amended



The Nationwide Building Society is a  
 member of the Nationwide Group of  
 companies. For more information, please  
 visit [www.nationwide.co.uk](http://www.nationwide.co.uk)

203 Barnwood Rd  
 Barnwood  
 Gloucester, GL4 3HS  
 Phone: (01452) 514124

PEACEHAVEN  
 Branch Transformation Programme  
 PEACEHAVEN  
 264 South Court Road  
 Peacehaven  
 BN20 7NP  
 Peffer 306

PROPOSED ELEVATION  
 EXISTING  
 PROPOSED  
 DATE  
 19.08.19  
 DRAWN BY  
 J.V.  
 CHECKED BY  
 J.V.  
 APPROVED BY  
 J.V.  
 PROJECT NO.  
 1906-03  
 SCALE  
 1:50





Facilities Management Scope

AWAITING INFORMATION



Proposed Elevations

Scale: 1:100

**Barnwood**  
Shopping

203 Barnwood Rd  
Barnwood  
Gloucester, GL4 3HS

Phone: (01-452) 514124

The following information is provided for your information only. It is not intended to be a contract. It is subject to change without notice. It is not intended to be a contract. It is subject to change without notice. It is not intended to be a contract. It is subject to change without notice.



**PEACEHAVEN**  
Branch Transformation Programme

PEACEHAVEN  
244 South Coast Road  
Barnwood  
GL4 3HS  
Peacehaven

FACILITIES MANAGEMENT

DATE	18.08.19	US	1305	1305	1305
DATE	18.08.19	US	1305	1305	1305
DATE	18.08.19	US	1305	1305	1305





### PARISH CONSULTATION LETTER

<b>From:</b>	Planning	<b>To:</b>	<b>Peacehaven</b>
<b>Comments to be received by:</b>	<b>19.11.2019.</b>		
<b>Case No:</b>	LW/19/0761		
<b>Case Officer:</b>	Mr Christopher Wright		

**Location:** 122 Arundel Road Peacehaven East Sussex BN10 8EU

**Proposal:** Conversion of single property into two dwellings with additional works

---

I am consulting you on the above development. A copy of the above planning application, together with accompanying plans, drawings and other documents, is available on our Public Access website by following the link below:

<http://www.lewes.gov.uk/planning/1139.asp>

We would be grateful to receive any observations no later than 19.11.2019.

Yours faithfully

**Mr Christopher Wright**  
Specialist (Planning)

Phone: 01273 471600

Email: [Customerfirst@lewes-eastbourne.gov.uk](mailto:Customerfirst@lewes-eastbourne.gov.uk)

Website: [lewes-eastbourne.gov.uk](http://lewes-eastbourne.gov.uk)



**Ref.: 14343 – 122 Arundel Road, Peacehaven, East Sussex, BN10 8EU**

## **Design and Access Statement**

### **Introduction**

The building in question is a two storey previously extended four bedroom detached house in the town of Peacehaven. The building is on the Northern side of Arundel Road. The building is not listed nor is it within a designated area. The site is approximately 0.037 hectares.

### **Proposal**

The development proposal is to extend and convert the existing single dwelling into two separate three bedroom semi-detached properties. The existing flat roof store and garage, and entrance porch will be demolished. The proposed houses will be for private residential use.

The new materials will match the existing. Plain tiles will be used for the pitched roofs and felt will be used for the flat roof. The external walls will be face brickwork at low-level with painted render above to match the existing. The windows and doors will be UPVC to also match the existing.

### **Design Statement**

It is proposed to build a two storey side and rear extension. The existing store and garage will be demolished to ensure access down both sides of the property. The existing front forecourt and driveway will be split into two for each individual house.

The rear ground floor extension will create a new living room with patio doors to the garden. Elsewhere on the ground floor is a kitchen, bedroom and shower room all suitable for wheelchair access. New stairs from the entrance hall give access to two further first floor bedrooms including one master bedroom with ensuite. A bathroom and study will also be created on the first floor.

### **Scale**

The proposed total floor areas for the properties will be 92m<sup>2</sup> and 101m<sup>2</sup>. The rear extension will be 2.57m deep, from the previously built ground floor extension, and overall 9.57m wide. The two storey side extension will be 1.17m from the existing cavity wall and 1.2m from the Western boundary. The existing garage wall will be demolished which forms the boundary wall. A new 1800mm high timber fence will be constructed to the Western boundary. The original property is 1.25m from the Eastern boundary.

The new end gable will be the same height as the original roof. The rear flat roof section of roof will be 175mm lower than the main ridge.

### **Access Statement**

Access to the two properties will be similar to the existing arrangement with entrance doors to the front elevation. To the rear will be sliding patio doors giving access to the garden.

**Landscaping**

No trees or vegetation will need to be removed as part of the proposals. A new timber fence will be constructed in the rear garden so each property benefits from a good sized garden for a family home. At the front the existing forecourt area and driveway is full width and full depth. This area will be split so each property has sufficient space to park two cars. A new cross-over will be required for the left hand side property.

**Foul and Surface Water Drainage Statement**

All of the existing foul drainage is to the left hand side of the building. New foul drain runs will need to be installed to the right hand property and then connect into the existing drain with a new inspection chamber. The foul drain then connects to the main public sewer in Arundel Road.

The surface water for the building will discharge into new soakaways in the rear garden.

**Parking Statement**

The existing driveway can fit one car and one further parking space is also provided by the garage. The porch is to be demolished so ensure two car park spaces can be provided for each property. A new cross-over will be required to enable access from Arundel Road.

**Justification Statement**

The building is in a good location which is a short bus journey to Brighton. The houses which are to be created will be ideal for families.

Many properties in this area of Peacehaven have been divided into two separate dwellings. Also a number of properties nearby have been given Consent to demolish and rebuild as two or more separate dwellings.

This is deemed a suitable location for families with schools, shops, parks and good public transport to Brighton or Newhaven. In addition two car park spaces for each property will be provided.

Cycle storage can easily be provided in the rear gardens. There is also ample provisions for refuse/recycling bins which will be located to the side of the property.

Care has been taken with the design to ensure that there will be no overshadowing of neighbouring properties from the proposed two storey rear and side extension. The extension has been set 1.25m away from the boundary. The side facing first floor windows to the bathrooms are to have obscure glazing. The first floor side windows to the study is to be open-able for escape purposes with clear glazing. The existing property has side facing windows with clear glazing. Therefore the overlooking into next door's properties' gardens will not have any increased overlooking as a result of the proposed extensions. The open-able windows to these rooms are essential to provide adequate fire escape.



Overall the proposed extensions and alterations are in keeping with similar developments granted Planning Consent within this area of Peacehaven. The proposed works will not have any adverse impact on the character of the area or street scene.

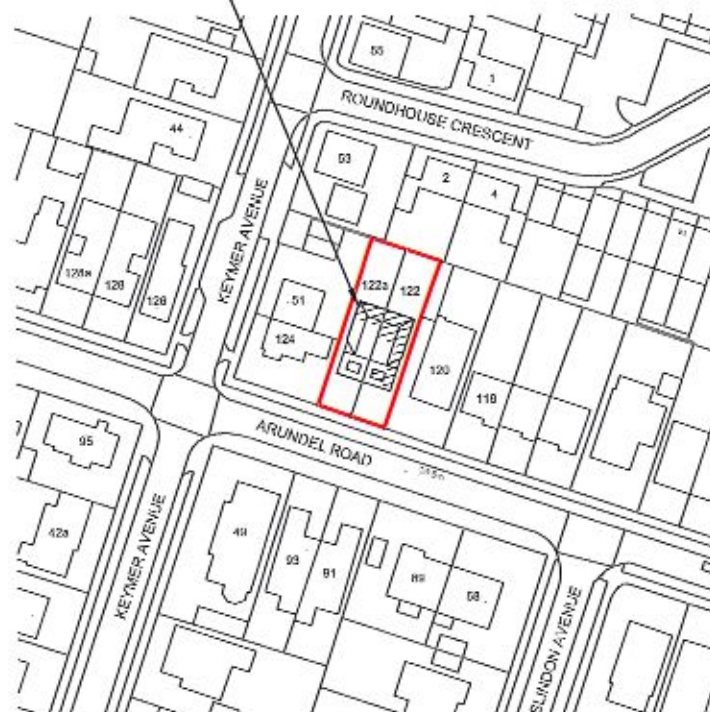
**HT Partnership**

**ICH/ 14343**

**17<sup>th</sup> October 2019**



TWO STOREY REAR AND SIDE  
EXTENSION. PROPERTY TO BE  
SPLIT INTO TWO DWELLINGS.

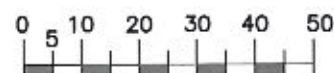


## LOCATION PLAN

SCALE 1:1250



1:1250 SCALE BAR



### CONSULTING CIVIL & STRUCTURAL ENGINEERS

THE BARN, KEENS LODGE, WORTH LANE, LITTLE HORSTED  
EAST SUSSEX, TN22 5TT 01825 750440

Project: 122 ARUNDEL ROAD, PEACEHAVEN

Drawing: LOCATION PLAN

Date. OCT 2019

Made by. ICH  
Checked.

Scale. 1:1250 ©A4

Drawing No. 14343-LP





## Community Infrastructure Levy (CIL) - Determining whether a Development may be CIL Liable Planning Application Additional Information Requirement form

Following the introduction of the Community Infrastructure Levy (CIL) all applicants for full planning permission, including householder applications and reserved matters following an outline planning permission, and applicants for lawful development certificates are required to provide the following information. **Please read the associated Guidance Notes before you complete the form. Notes on the questions are provided at [http://www.planningportal.gov.uk/uploads/1app/cil\\_guidance.pdf](http://www.planningportal.gov.uk/uploads/1app/cil_guidance.pdf)**

Please complete the form using block capitals and black ink and send to the Charging Authority (or Collecting Authority if this differs from the Charging Authority).

See [Planning Practice Guidance for CIL](#) for guidance on CIL generally, including exemption or relief..

### 1. Application Details

Applicant or Agent Name:

HT PARTNERSHIP

Planning Portal Reference  
(if applicable):

Local authority planning application number  
(if allocated):

Site Address:

122 Arundel Road  
Peacehaven  
East Sussex  
BN10 8EU

Description of development:

Two storey rear and side extension to an existing property. Demolish existing flat roof garage and front porch. Existing front dormer to be relocated. Convert existing single property into two separate dwellings.

Does the application relate to minor material changes to an existing planning permission (is it a Section 73 application)?

Yes ☐

Please enter the application number:

No ☒

If yes, please go to **Question 3**. If no, please continue to **Question 2**.

## 2. Liability for CIL

Does your development include:

a) New build floorspace (including extensions and replacement) of 100 sq ms or above?

Yes ☐ No ☒

b) Proposals for one or more new dwellings either through conversion or new build (except the conversion of a single dwelling house into two or more separate dwellings)?

Yes ☐ No ☒

c) None of the above

Yes ☒ No ☐

If you answered yes to either a), or b) please go to **Question 4**.

If you answered yes to c), please go to **8. Declaration** at the end of the form.

## 3. Applications for Minor Material Changes to an Existing Planning Permission

a) Does this application involve a change in the amount or use of new build floorspace, where the total floorspace, including that previously granted planning permission, is over 100 sq m?

Yes ☐ No ☐

b) Does this application involve a change in the amount of floorspace where one or more new dwellings are proposed, either through conversion or new build (except the conversion of a single dwelling house into two or more separate dwellings)?

Yes ☐ No ☐

If you answered yes to either a), or b) please go to **Question 4**.

If you answered no to both a) and b), please go to **8. Declaration** at the end of the form.

## 4. Exemption or Relief

a) Is the site owned by a charity where the development will be wholly or mainly for charitable purposes, and the development will be either occupied by or under the control of a charitable institution?

Yes ☐ No ☐

b) Does the proposed development include affordable housing which qualifies for mandatory or discretionary Social Housing relief?

Yes ☐ No ☐

If you answered yes to a) or b), please note that you will need to complete and have agreed CIL Form 2 - 'Claiming Exemption or Relief', and submitted a Commencement (of development) Notice to the Charging/Collecting Authority, which the Authority must receive prior to the commencement of your development, in order to benefit from relief from the levy. You will also need to complete CIL Form 2 if you think you are eligible for discretionary charitable relief, or exceptional circumstances relief, if this is available in your area. Please check the Charging Authority's website for details. CIL Form 2 is available from [www.planningportal.gov.uk/cil](http://www.planningportal.gov.uk/cil)

c) Do you wish to claim a self build exemption for a whole new home?

Yes ☐ No ☐

If you have answered yes to c) please also complete a CIL Form 7- 'Self Build Exemption Claim Form: Part 1' available from [www.planningportal.gov.uk/cil](http://www.planningportal.gov.uk/cil). Please note you will need to complete and have agreed CIL Form 7, and submitted a Commencement (of development) Notice to the Charging/Collecting Authority, which the Authority must receive prior to the commencement of your development, in order to benefit from relief from the levy.

d) Do you wish to claim a self build exemption for a residential annex or extension?

Yes ☐ No ☐

If you have answered yes to d) please also complete either CIL Form 8 - 'Self Build Residential Annex Exemption Claim Form' or CIL Form 9 - 'Self Build Extension Exemption Claim Form' available from [www.planningportal.gov.uk/cil](http://www.planningportal.gov.uk/cil). Please note you will need to have completed and agreed either CIL Form 8 or 9, as appropriate, and submitted a Commencement (of development) Notice to the Charging/Collecting Authority, which the Authority, if in respect of a residential annex, must receive prior to the commencement of your development, in order to benefit from relief from the levy

## 5. Reserved Matters Applications

Does this application relate to details or reserved matters pursuant to an application that was granted planning permission prior to the introduction of the CIL charge in the relevant local authority area?

Yes ☐ Please enter the application number:

No ☐

If you answered yes, please go to **8. Declaration** at the end of the form.

If you answered no, please continue to complete the form.



## 6. Proposed New Floorspace

a) Does your application involve new **residential floorspace** (including new dwellings, extensions, conversions/changes of use, garages, basements or any other buildings ancillary to residential use)?

N.B. conversion of a single dwelling house into two or more separate dwellings (without extending them) is NOT liable for CIL. If this is the sole purpose of your development proposal, answer 'no' to Question 2b and go straight to the declaration at Question 8.

Yes ☐ No ☐

If yes, please complete the table in section 6c) below, providing the requested information, including the floorspace relating to new dwellings, extensions, conversions, garages or any other buildings ancillary to residential use.

b) Does your application involve new **non-residential floorspace**?

Yes ☐ No ☐

If yes, please complete the table in section 6c) below, using the information provided for Question 18 on your planning application form.

c) Proposed floorspace:

Development type	(i) Existing gross internal floorspace (square metres)	(ii) Gross internal floorspace to be lost by change of use or demolition (square metres)	(iii) Total gross internal floorspace proposed (including change of use, basements, and ancillary buildings) (square metres)	(iv) Net additional gross internal floorspace following development (square metres) (iv) = (iii) - (ii)
Market Housing (if known)				
Social Housing, including shared ownership housing (if known)				
Total residential floorspace				
Total non-residential floorspace				
Total floorspace				

## 7. Existing Buildings

a) How many existing buildings on the site will be retained, demolished or partially demolished as part of the development proposed?

Number of buildings:

b) Please state for each existing building/part of an existing building that is to be retained or demolished, the gross internal floorspace that is to be retained and/or demolished and whether all or part of each building has been in use for a continuous period of at least six months within the past thirty six months. Any existing buildings into which people do not usually go or only go into intermittently for the purposes of inspecting or maintaining plant or machinery, or which were granted temporary planning permission should not be included here, but should be included in the table in question 7c).

	Brief description of existing building/part of existing building to be retained or demolished.	Gross internal area (sq ms) to be retained.	Proposed use of retained floorspace.	Gross internal area (sq ms) to be demolished.	Was the building or part of the building occupied for its lawful use for 6 continuous months of the 36 previous months (excluding temporary permissions)?	When was the building last occupied for its lawful use? Please enter the date (dd/mm/yyyy) or tick still in use.
1					Yes <input type="checkbox"/> No <input type="checkbox"/>	Date: <input type="text"/> or Still in use: <input type="checkbox"/>
2					Yes <input type="checkbox"/> No <input type="checkbox"/>	Date: <input type="text"/> or Still in use: <input type="checkbox"/>
3					Yes <input type="checkbox"/> No <input type="checkbox"/>	Date: <input type="text"/> or Still in use: <input type="checkbox"/>
4					Yes <input type="checkbox"/> No <input type="checkbox"/>	Date: <input type="text"/> or Still in use: <input type="checkbox"/>
Total floorspace						

## 7. Existing Buildings continued

c) Does your proposal include the retention, demolition or partial demolition of any whole buildings **into which people do not usually go or only go into intermittently for the purposes of inspecting or maintaining plant or machinery, or which were granted planning permission for a temporary period?** If yes, please complete the following table:

	Brief description of existing building (as per above description) to be retained or demolished.	Gross internal area (sq ms) to be retained	Proposed use of retained floorspace	Gross internal area (sq ms) to be demolished
1				
2				
3				
4				
Total floorspace into which people do not normally go, only go intermittently to inspect or maintain plant or machinery, or which was granted temporary planning permission				

d) If your development involves the conversion of an existing building, will you be creating a new mezzanine floor within the existing building?

Yes ☐ No ☐

e) If Yes, how much of the gross internal floorspace proposed will be created by the mezzanine floor (sq ms)?

Use	Mezzanine floorspace (sq ms)

88



## 8. Declaration

I/we confirm that the details given are correct.

Name:

HT PARTNERSHIP

Date (DD/MM/YYYY). Date cannot be pre-application:

10/10/2019

It is an offence for a person to knowingly or recklessly supply information which is false or misleading in a material respect to a collecting or charging authority in response to a requirement under the Community Infrastructure Levy Regulations (2010) as amended (regulation 110, SI 2010/948). A person guilty of an offence under this regulation may face unlimited fines, two years imprisonment, or both.

For local authority use only

App. No:



## Residential/Dwelling Units - Supplementary information template

If your proposal includes the gain, loss or change-of-use of residential units (including conversion) please enter the numbers of existing and proposed dwellings according to the number of bedrooms in the appropriate categories and types below.

The form will automatically populate the totals for each section as well as the combined total number of existing and proposed dwellings and the overall net gain/loss of residential units.

Once completed, please save the file on your device and then upload it as a supporting document to the relevant online application using the 'Supplementary Information Template' document type.

Definitions of the housing categories and dwelling types in the table below are available in Annex 1 below.

Planning Portal  
Reference and  
site address

PP-08207121  
122 Arundel Road  
Peacehaven  
East Sussex  
BN10 8EU

### Proposed Housing

Market Housing	Not known	Number of Bedrooms					Total
		1	2	3	4+	Unknown	
Houses	<input type="checkbox"/>			2			2
Flats/maisonettes	<input type="checkbox"/>						
Sheltered housing	<input type="checkbox"/>						
Bedsit/studios	<input type="checkbox"/>						
Cluster flats	<input type="checkbox"/>						
Other	<input type="checkbox"/>						
Totals =							2

Social, Affordable or Intermediate Rent	Not known	Number of Bedrooms					Total
		1	2	3	4+	Unknown	
Houses	<input type="checkbox"/>						
Flats/maisonettes	<input type="checkbox"/>						
Sheltered housing	<input type="checkbox"/>						
Bedsit/studios	<input type="checkbox"/>						
Cluster flats	<input type="checkbox"/>						
Other	<input type="checkbox"/>						
Totals =							

### Existing Housing

Market Housing	Not known	Number of Bedrooms					Total
		1	2	3	4+	Unknown	
Houses	<input type="checkbox"/>			1			1
Flats/maisonettes	<input type="checkbox"/>						
Sheltered housing	<input type="checkbox"/>						
Bedsit/studios	<input type="checkbox"/>						
Cluster flats	<input type="checkbox"/>						
Other	<input type="checkbox"/>						
Totals =							1

Social, Affordable or Intermediate Rent	Not known	Number of Bedrooms					Total
		1	2	3	4+	Unknown	
Houses	<input type="checkbox"/>						
Flats/maisonettes	<input type="checkbox"/>						
Sheltered housing	<input type="checkbox"/>						
Bedsit/studios	<input type="checkbox"/>						
Cluster flats	<input type="checkbox"/>						
Other	<input type="checkbox"/>						
Totals =							

## Residential Units - Supporting Information

### Proposed Housing

Affordable Home Ownership	Not known	Number of Bedrooms					Total
		1	2	3	4+	Unknown	
Houses	<input type="checkbox"/>						
Flats/maisonettes	<input type="checkbox"/>						
Sheltered housing	<input type="checkbox"/>						
Bedsit/studios	<input type="checkbox"/>						
Cluster flats	<input type="checkbox"/>						
Other	<input type="checkbox"/>						
<b>Totals =</b>							

Starter Homes	Not known	Number of Bedrooms					Total
		1	2	3	4+	Unknown	
Houses	<input type="checkbox"/>						
Flats/maisonettes	<input type="checkbox"/>						
Bedsit/studios	<input type="checkbox"/>						
Other	<input type="checkbox"/>						
<b>Totals =</b>							

Self Build and Custom Build	Not known	Number of Bedrooms					Total
		1	2	3	4+	Unknown	
Houses	<input type="checkbox"/>						
Flats/maisonettes	<input type="checkbox"/>						
Bedsit/studios	<input type="checkbox"/>						
Other	<input type="checkbox"/>						
<b>Totals =</b>							

**Total proposed residential units = 2**

### Existing Housing

Affordable Home Ownership	Not known	Number of Bedrooms					Total
		1	2	3	4+	Unknown	
Houses	<input type="checkbox"/>						
Flats/maisonettes	<input type="checkbox"/>						
Sheltered housing	<input type="checkbox"/>						
Bedsit/studios	<input type="checkbox"/>						
Cluster flats	<input type="checkbox"/>						
Other	<input type="checkbox"/>						
<b>Totals =</b>							

Starter Homes	Not known	Number of Bedrooms					Total
		1	2	3	4+	Unknown	
Houses	<input type="checkbox"/>						
Flats/maisonettes	<input type="checkbox"/>						
Bedsit/studios	<input type="checkbox"/>						
Other	<input type="checkbox"/>						
<b>Totals =</b>							

Self Build and Custom Build	Not known	Number of Bedrooms					Total
		1	2	3	4+	Unknown	
Houses	<input type="checkbox"/>						
Flats/maisonettes	<input type="checkbox"/>						
Bedsit/studios	<input type="checkbox"/>						
Other	<input type="checkbox"/>						
<b>Totals =</b>							

**Total existing residential units = 1**

**TOTAL NET GAIN or LOSS of RESIDENTIAL UNITS (Proposed Housing Grand Total - Existing Housing Grand Total): 1**



## Annex 1 - Definitions of housing categories and dwelling types

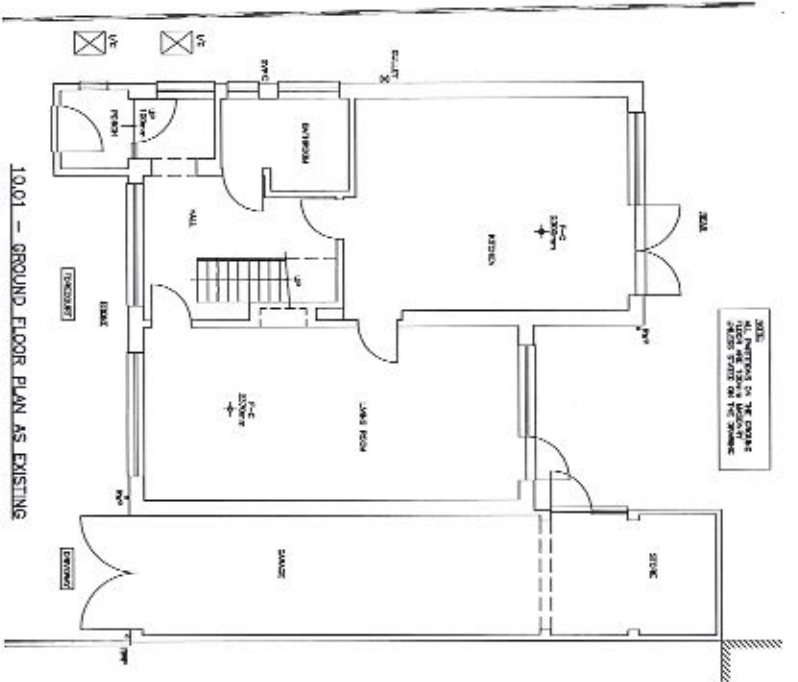
The housing categories are defined as:

1. **Market Housing** - Housing sold or rented on the open market.
2. **Social, Affordable or Intermediate Rent** - These three rental categories are grouped together, but each has a specific definition.  
  
Social rented housing is owned by local authorities and private registered providers (as defined in section 80 of the Housing and Regeneration Act 2008), for which guideline target rents are determined through the national rent regime. It may also be owned by other persons and provided under equivalent rental arrangements to the above, as agreed with the local authority or with Homes England.  
  
Affordable rented housing is let by local authorities or private registered providers of social housing to households who are eligible for social rented housing. Affordable Rent is subject to rent controls that require a rent of no more than 80 per cent of the local market rent (including service charges, where applicable).  
  
Intermediate rented housing is provided at a cost above social rent, but below market levels subject to the Affordable Housing criteria.
3. **Affordable Home Ownership** - Affordable housing is intermediate housing, provided to eligible households whose needs are not met by the market. Eligibility is determined with regard to local incomes and local house prices.  
  
Affordable housing should include provisions to remain at an affordable price for future eligible households or for the subsidy to be recycled for alternative affordable housing provision.  
  
Homes that do not meet the above definition of affordable housing, such as 'low cost market' housing, may not be considered as affordable housing for planning purposes.
4. **Starter Homes** - New homes or new conversions with a discount of at least 20% of their full market value. Starter home prices are capped at £250,000 outside London and £450,000 in London, they will also generally have restrictions applied to their ability to be rented or resold.
5. **Self-Build and Custom Build** - Houses built or completed by: individuals; associations of individuals; or persons working with or for them, to be occupied by those individuals.  
  
It does not include the building of a house on a plot acquired from a person who builds the house wholly or mainly to plans or specifications they have decided or offered (e.g. buying an unbuilt house 'off-plan')  
  
In considering whether a home is a self-build or custom build home, relevant authorities must be satisfied that the initial owner of the home will have primary input into its final design and layout.

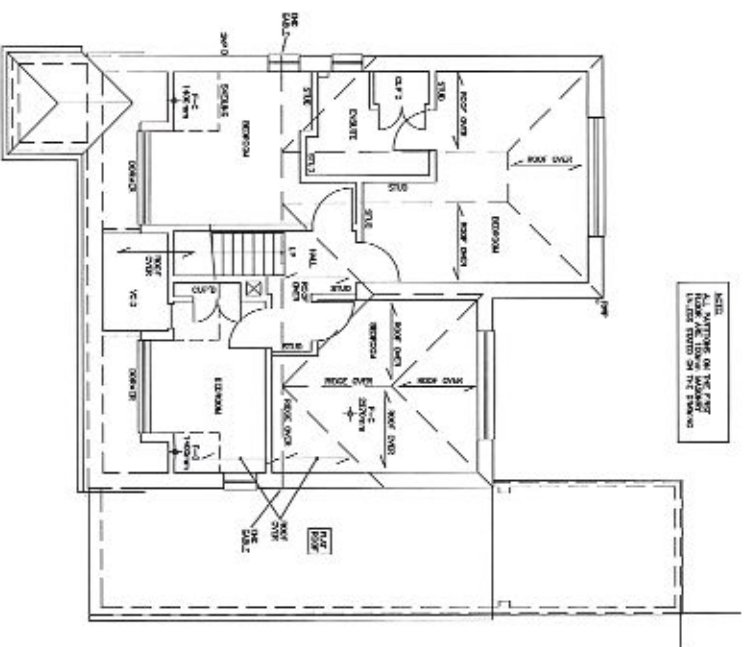
The dwelling types are defined as:

- A. **Houses** - A dwelling that is not a flat, includes single-storey bungalows.
- B. **Flats / Maisonettes** - Includes separate and self-contained premises constructed or adapted for use for residential purposes and forming part of a building from some other part of which it is usually divided horizontally. Maisonettes are flats containing more than one storey.
- C. **Cluster flats** - Units with no separate or self-contained living and sleeping accommodation within a larger building of which it forms a part.
- D. **Sheltered housing** - Specifically designed housing in a group with services such as the support of a warden, communal facilities, alarm systems and laundry services. Also includes grouped housing schemes without the services of a warden and other communal facilities.
- E. **Bedsits / Studios** - Refers to a bedroom/living room containing cooking facilities. In addition, it may also contain washing facilities or even a shower.
- F. **Other** - Other types of dwellings not specifically referred to in the above types.





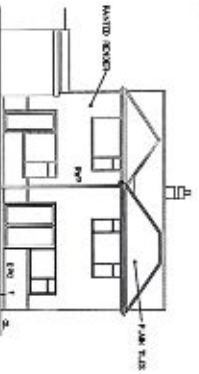
10.01 - GROUND FLOOR PLAN AS EXISTING  
SCALE 1:50



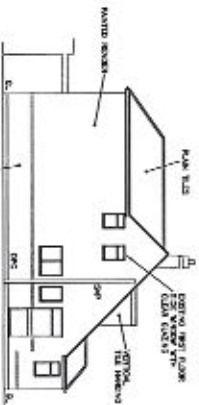
10.02 - FIRST FLOOR PLAN AS EXISTING  
SCALE 1:50



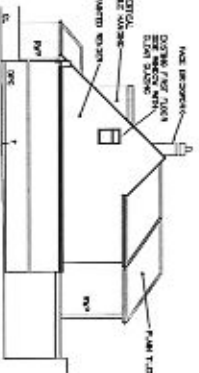
10.03 FRONT (SOUTH) ELEVATION AS EXISTING  
SCALE 1:100



10.05 REAR (NORTH) ELEVATION AS EXISTING  
SCALE 1:100



10.04 SIDE (WEST) ELEVATION AS EXISTING  
SCALE 1:100



10.06 SIDE (EAST) ELEVATION AS EXISTING  
SCALE 1:100



1:50 SCALE BAR



1:100 SCALE BAR

NO.	REVISION	DATE
1	ISSUED FOR TENDERS	10/10/2019
2	ISSUED FOR TENDERS	10/10/2019
3	ISSUED FOR TENDERS	10/10/2019



CIVIL AND STRUCTURAL  
CONSULTING ENGINEERS

The firm is a member of the  
Institution of Civil Engineers

MS L. TURNER AND  
MS C. TURNER

122 ARUNDEL ROAD  
PEACEHAVEN  
EAST SUSSEX

EXISTING FLOOR  
PLANS & ELEVATIONS

DATE	BY	CHKD BY
10/10/2019	MS L. TURNER	MS C. TURNER
10/10/2019	MS L. TURNER	MS C. TURNER
10/10/2019	MS L. TURNER	MS C. TURNER

14343-10

A

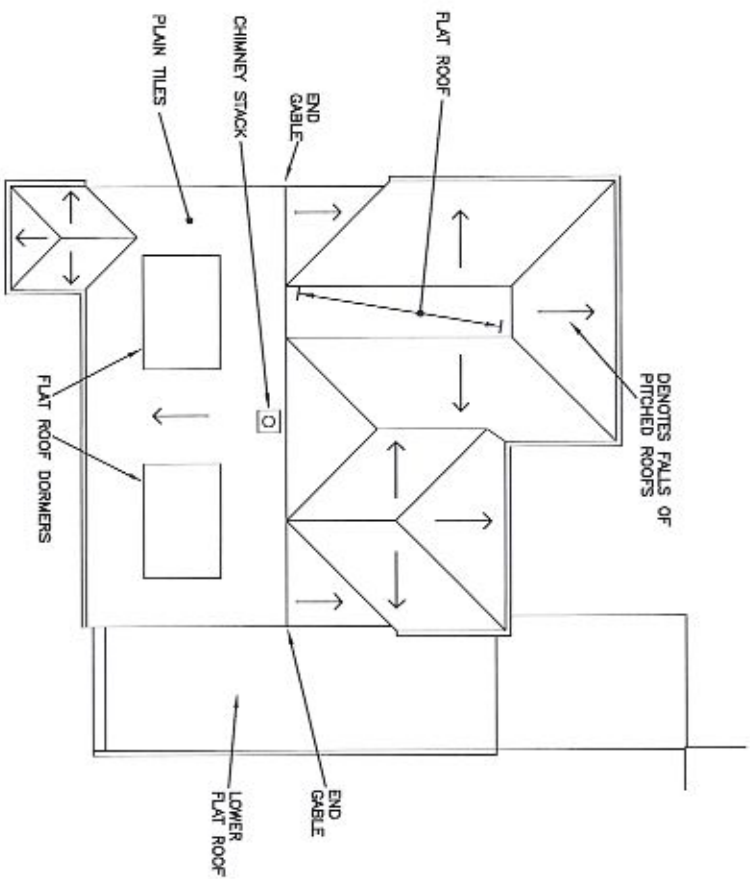
56





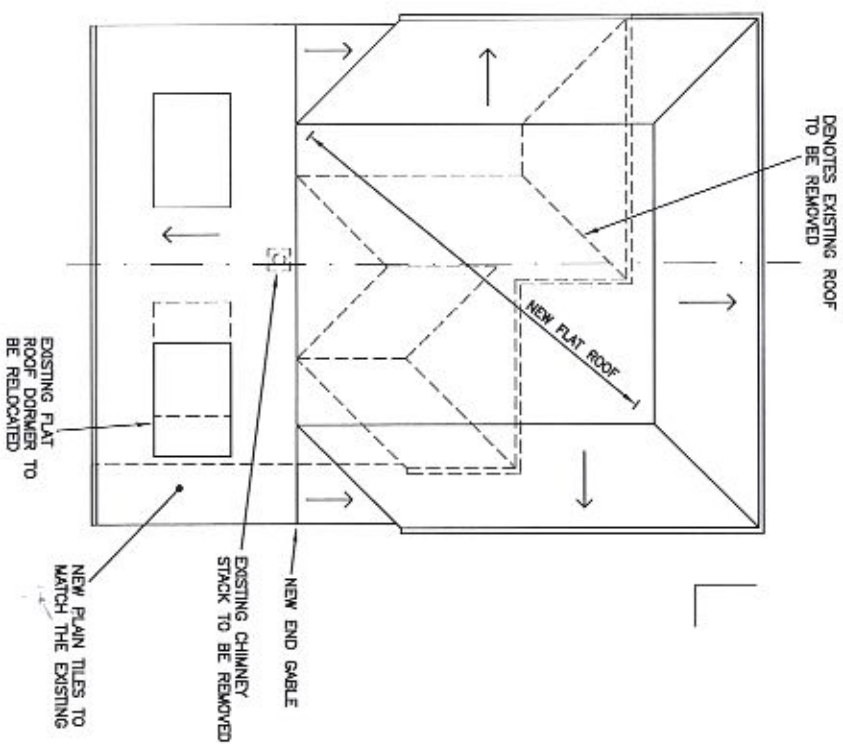






**12.01 ROOF PLAN AS EXISTING**

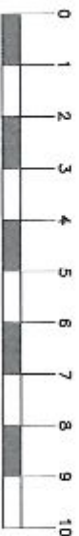
SCALE 1:100



**12.02 ROOF PLAN AS PROPOSED**

SCALE 1:100

**1:100 SCALE BAR**



**CONSULTING CIVIL & STRUCTURAL ENGINEERS**

THE BARN, KEENS LODGE, WORTH LANE, LITTLE HORSTED  
EAST SUSSEX, TN22 5TT 01825 750440

Project: 122 ARUNDEL ROAD, PEACEHAVEN

Drawing: EXISTING AND PROPOSED ROOF PLANS

Date: OCT 2019

Drawn by: ICH  
Checked:

Scale: 1:100 @A3

Project No: 14343-12







**Lewes District Council**

**Planning Services**

Southover House, Southover Road, Lewes  
East Sussex BN7 1AB

planning@lewes.gov.uk / Tel: 01273 484420 / Fax: 01273 484452

**Application for Planning Permission.  
Town and Country Planning Act 1990**

**Publication of applications on planning authority websites.**

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

**1. Site Address**

Number	122
Suffix	
Property name	
Address line 1	Arundel Road
Address line 2	
Address line 3	
Town/city	Peacehaven
Postcode	BN10 8EU

Description of site location must be completed if postcode is not known:

Easting (x)	541620
Northing (y)	101122

Description

Detached Two Storey Property on the Northern Side of Arundel Road

**2. Applicant Details**

Title	Other
Other	Ms and Ms
First name	L. and C.
Surname	Turner and Tumor
Company name	
Address line 1	32 Keymer Avenue
Address line 2	
Address line 3	
Town/city	Peacehaven

## 2. Applicant Details

Country	
Postcode	BN10 8HA
Primary number	
Secondary number	
Fax number	
Email address	

Are you an agent acting on behalf of the applicant?

☒ Yes ☐ No

## 3. Agent Details

Title	Mr
First name	I.
Surname	HARKNESS
Company name	HT PARTNERSHIP
Address line 1	The Barn, Keens Lodge
Address line 2	Worth Lane
Address line 3	
Town/city	Little Horsted
Country	
Postcode	TN22 5TT
Primary number	
Secondary number	
Fax number	
Email	

## 4. Site Area

What is the measurement of the site area?  
(numeric characters only).

370

Unit

sq.metres

## 5. Description of the Proposal

Please describe details of the proposed development or works including any change of use.

If you are applying for Technical Details Consent on a site that has been granted Permission In Principle, please include the relevant details in the description below.

Two storey rear and side extension to an existing property. Demolish existing flat roof garage and front porch. Existing front dormer to be relocated. Convert existing single property into two separate dwellings.

Has the work or change of use already started?

☐ Yes ☒ No

## 6. Existing Use

Please describe the current use of the site

Domestic

Is the site currently vacant?

☐ Yes ☒ No

Does the proposal involve any of the following? If Yes, you will need to submit an appropriate contamination assessment with your application.

Land which is known to be contaminated

☐ Yes ☒ No

Land where contamination is suspected for all or part of the site

☐ Yes ☒ No

A proposed use that would be particularly vulnerable to the presence of contamination

☐ Yes ☒ No

## 7. Materials

Does the proposed development require any materials to be used?

☒ Yes ☐ No

Please provide a description of existing and proposed materials and finishes to be used (including type, colour and name for each material):

Walls	
Description of existing materials and finishes (optional):	Face Brickwork Painted Render Vertical Tile Hanging to Dormers
Description of proposed materials and finishes:	Face Brickwork to match existing Painted Render to match existing Vertical Tile Hanging to Relocated Dormer to match existing

Roof	
Description of existing materials and finishes (optional):	Plain Roof Tiles Felt Covered Flat Roof
Description of proposed materials and finishes:	Plain Roof Tiles to match existing Felt Covered Flat Roof to match existing

Windows	
Description of existing materials and finishes (optional):	UPVC
Description of proposed materials and finishes:	UPVC to match existing

Doors	
Description of existing materials and finishes (optional):	UPVC
Description of proposed materials and finishes:	UPVC to match existing

Boundary treatments (e.g. fences, walls)	
Description of existing materials and finishes (optional):	Timber Fencing Face Brickwork Boundary Walls
Description of proposed materials and finishes:	Timber Fencing Face Brickwork Boundary Walls



## 7. Materials

Are you supplying additional information on submitted plans, drawings or a design and access statement?

☒ Yes ☐ No

If Yes, please state references for the plans, drawings and/or design and access statement

Drawings 14343-10A, 11A and 12  
Block Plan 14343-BP  
Location Plan 14343-LP  
Design and Access Statement  
CIL Forms

## 8. Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicular access proposed to or from the public highway?

☒ Yes ☐ No

Is a new or altered pedestrian access proposed to or from the public highway?

☐ Yes ☒ No

Are there any new public roads to be provided within the site?

☐ Yes ☒ No

Are there any new public rights of way to be provided within or adjacent to the site?

☐ Yes ☒ No

Do the proposals require any diversions/extinguishments and/or creation of rights of way?

☐ Yes ☒ No

If you answered Yes to any of the above questions, please show details on your plans/drawings and state their reference numbers

Please see Block Plan 14343-BP

## 9. Vehicle Parking

Is vehicle parking relevant to this proposal?

☒ Yes ☐ No

Please provide information on the existing and proposed number of on-site parking spaces

Type of vehicle	Existing number of spaces	Total proposed (including spaces retained)	Difference in spaces
Cars	2	4	2

## 10. Trees and Hedges

Are there trees or hedges on the proposed development site?

☐ Yes ☒ No

And/or: Are there trees or hedges on land adjacent to the proposed development site that could influence the development or might be important as part of the local landscape character?

☐ Yes ☒ No

If Yes to either or both of the above, you may need to provide a full tree survey, at the discretion of your local planning authority. If a tree survey is required, this and the accompanying plan should be submitted alongside your application. Your local planning authority should make clear on its website what the survey should contain, in accordance with the current 'BS5837: Trees in relation to design, demolition and construction - Recommendations'.

## 11. Assessment of Flood Risk

Is the site within an area at risk of flooding? (Refer to the Environment Agency's Flood Map showing flood zones 2 and 3 and consult Environment Agency standing advice and your local planning authority requirements for information as necessary.)

☐ Yes ☒ No

If Yes, you will need to submit a Flood Risk Assessment to consider the risk to the proposed site.

Is your proposal within 20 metres of a watercourse (e.g. river, stream or beck)?

☐ Yes ☒ No

Will the proposal increase the flood risk elsewhere?

☐ Yes ☒ No

How will surface water be disposed of?

☐ Sustainable drainage system



### 11. Assessment of Flood Risk

- ☐ Existing water course
- ☒ Soakaway
- ☐ Main sewer
- ☐ Pond/lake

### 12. Biodiversity and Geological Conservation

Is there a reasonable likelihood of the following being affected adversely or conserved and enhanced within the application site, or on land adjacent to or near the application site?

To assist in answering this question correctly, please refer to the help text which provides guidance on determining if any important biodiversity or geological conservation features may be present or nearby; and whether they are likely to be affected by the proposals.

a) Protected and priority species:

- ☐ Yes, on the development site
- ☐ Yes, on land adjacent to or near the proposed development
- ☒ No

b) Designated sites, important habitats or other biodiversity features:

- ☐ Yes, on the development site
- ☐ Yes, on land adjacent to or near the proposed development
- ☒ No

c) Features of geological conservation importance:

- ☐ Yes, on the development site
- ☐ Yes, on land adjacent to or near the proposed development
- ☒ No

### 13. Foul Sewage

Please state how foul sewage is to be disposed of:

- ☒ Mains Sewer
- ☐ Septic Tank
- ☐ Package Treatment plant
- ☐ Cess Pit
- ☐ Other
- ☐ Unknown

Are you proposing to connect to the existing drainage system?

☐ Yes ☒ No ☐ Unknown

### 14. Waste Storage and Collection

Do the plans incorporate areas to store and aid the collection of waste?

☒ Yes ☐ No

If Yes, please provide details:

See Block Plan 14343-BP.

Have arrangements been made for the separate storage and collection of recyclable waste?

☒ Yes ☐ No

If Yes, please provide details:

Waste and recycling bins are to be located to the sides of the two properties.

### 15. Trade Effluent

Does the proposal involve the need to dispose of trade effluents or trade waste?

☐ Yes ☒ No

## 16. Residential/Dwelling Units

Due to changes in the information requirements for this question that are not currently available on the system, if you need to supply details of Residential/Dwelling Units for your application please follow these steps:

1. Answer 'No' to the question below;
2. Download and complete this supplementary information template (PDF);
3. Upload it as a supporting document on this application, using the 'Supplementary information template' document type.

This will provide the local authority with the required information to validate and determine your application.

Does your proposal include the gain, loss or change of use of residential units?

☒ Yes ☐ No

Please select the proposed housing categories that are relevant to your proposal.

- ☒ Market  
☐ Social  
☐ Intermediate  
☐ Key Worker

Add 'Market' residential units

Market: Proposed Housing						
	Number of bedrooms					
	1	2	3	4+	Unknown	Total
Houses	0	0	2	0	0	2
Total	0	0	2	0	0	2

Please select the existing housing categories that are relevant to your proposal.

- ☒ Market  
☐ Social  
☐ Intermediate  
☐ Key Worker

Add 'Market' residential units

Market: Existing Housing						
	Number of bedrooms					
	1	2	3	4+	Unknown	Total
Houses	0	0	1	0	0	1
Total	0	0	1	0	0	1

Total proposed residential units

2

Total existing residential units

1

## 17. All Types of Development: Non-Residential Floorspace

Does your proposal involve the loss, gain or change of use of non-residential floorspace?

☐ Yes ☒ No

## 18. Employment

Will the proposed development require the employment of any staff?

☐ Yes ☒ No

## 19. Hours of Opening

Are Hours of Opening relevant to this proposal?

☐ Yes ☒ No

## 20. Industrial or Commercial Processes and Machinery

Please describe the activities and processes which would be carried out on the site and the end products including plant, ventilation or air conditioning. Please include the type of machinery which may be installed on site:

NA

Is the proposal for a waste management development?

☐ Yes ☒ No

If this is a landfill application you will need to provide further information before your application can be determined. Your waste planning authority should make it clear what information it requires on its website

## 21. Hazardous Substances

Does the proposal involve the use or storage of any hazardous substances?

☐ Yes ☒ No

## 22. Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

☒ Yes ☐ No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact?

- ☐ The agent  
☒ The applicant  
☐ Other person

## 23. Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

☐ Yes ☒ No

## 24. Authority Employee/Member

With respect to the Authority, is the applicant and/or agent one of the following:

- (a) a member of staff  
(b) an elected member  
(c) related to a member of staff  
(d) related to an elected member

It is an important principle of decision-making that the process is open and transparent.

☐ Yes ☒ No

For the purposes of this question, "related to" means related, by birth or otherwise, closely enough that a fair-minded and informed observer, having considered the facts, would conclude that there was bias on the part of the decision-maker in the Local Planning Authority.

Do any of the above statements apply?

## 25. Ownership Certificates and Agricultural Land Declaration

**CERTIFICATE OF OWNERSHIP - CERTIFICATE A - Town and Country Planning (Development Management Procedure) (England) Order 2015 Certificate under Article 14**

I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/the applicant was the owner\* of any part of the land or building to which the application relates, and that none of the land to which the application relates is, or is part of, an agricultural holding\*\*

\* 'owner' is a person with a freehold interest or leasehold interest with at least 7 years left to run. \*\* 'agricultural holding' has the meaning given by reference to the definition of 'agricultural tenant' in section 65(8) of the Act.

NOTE: You should sign Certificate B, C or D, as appropriate, if you are the sole owner of the land or building to which the application relates but the land is, or is part of, an agricultural holding.

Person role

- ☐ The applicant  
☒ The agent

Title

Mr

First name

I.

Surname

Harkness

## 25. Ownership Certificates and Agricultural Land Declaration

Declaration date  
(DD/MM/YYYY)

10/10/2019

☒ Declaration made

## 26. Declaration

I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information. I/we confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine opinions of the person(s) giving them. ☒

Date (cannot be pre-application)

10/10/2019



### PARISH CONSULTATION LETTER

<b>From:</b>	Planning	<b>To:</b>	<b>Peacehaven</b>
<b>Comments to be received by:</b>	<b>20.11.2019.</b>		
<b>Case No:</b>	LW/19/0768		
<b>Case Officer:</b>	Mr Robin Hirschfeld		

**Location:** 22 Glynn Road Peacehaven East Sussex BN10 8AT

**Proposal:** Proposed single storey front extension

---

I am consulting you on the above development. A copy of the above planning application, together with accompanying plans, drawings and other documents, is available on our Public Access website by following the link below:

<http://www.lewes.gov.uk/planning/1139.asp>

We would be grateful to receive any observations no later than 20.11.2019.

Yours faithfully

**Mr Robin Hirschfeld**  
Case Worker (Planning)

Phone: 01273 471600

Email: [customerfirst@lewes-eastbourne.gov.uk](mailto:customerfirst@lewes-eastbourne.gov.uk)

Website: [lewes-eastbourne.gov.uk](http://lewes-eastbourne.gov.uk)



22 GLYNN ROAD  
PEACEHAVEN  
BN10 8AT

## **DESIGN & ACCESS STATEMENT**

### **The Property**

The property is a detached two storey dwelling. The proposal is to erect extend the garage at the front of the property and convert it to provide additional living accommodation for the dwelling.

### **DESIGN**

#### **Use**

The property is currently used as a dwelling. The proposed use will be unchanged.

#### **Amount**

The footprint area of the existing dwelling is 86 square metres. The extended area is 14 square metres. Therefore the footprint of the property is increased by approximately 16%.

#### **Scale**

The scale of the extension is in keeping with the existing dwelling and surrounding dwellings.

#### **Layout**

The annexe is laid out to provide additional living space.

#### **Landscaping**

No landscaping is being carried out.

#### **Appearance**

The external appearance of main dwelling is being altered but use of materials is sympathetic.

#### **Access**

Accessibility to the main dwelling is not affected by the proposals. Level access will be provided between the main dwelling and the extended area.

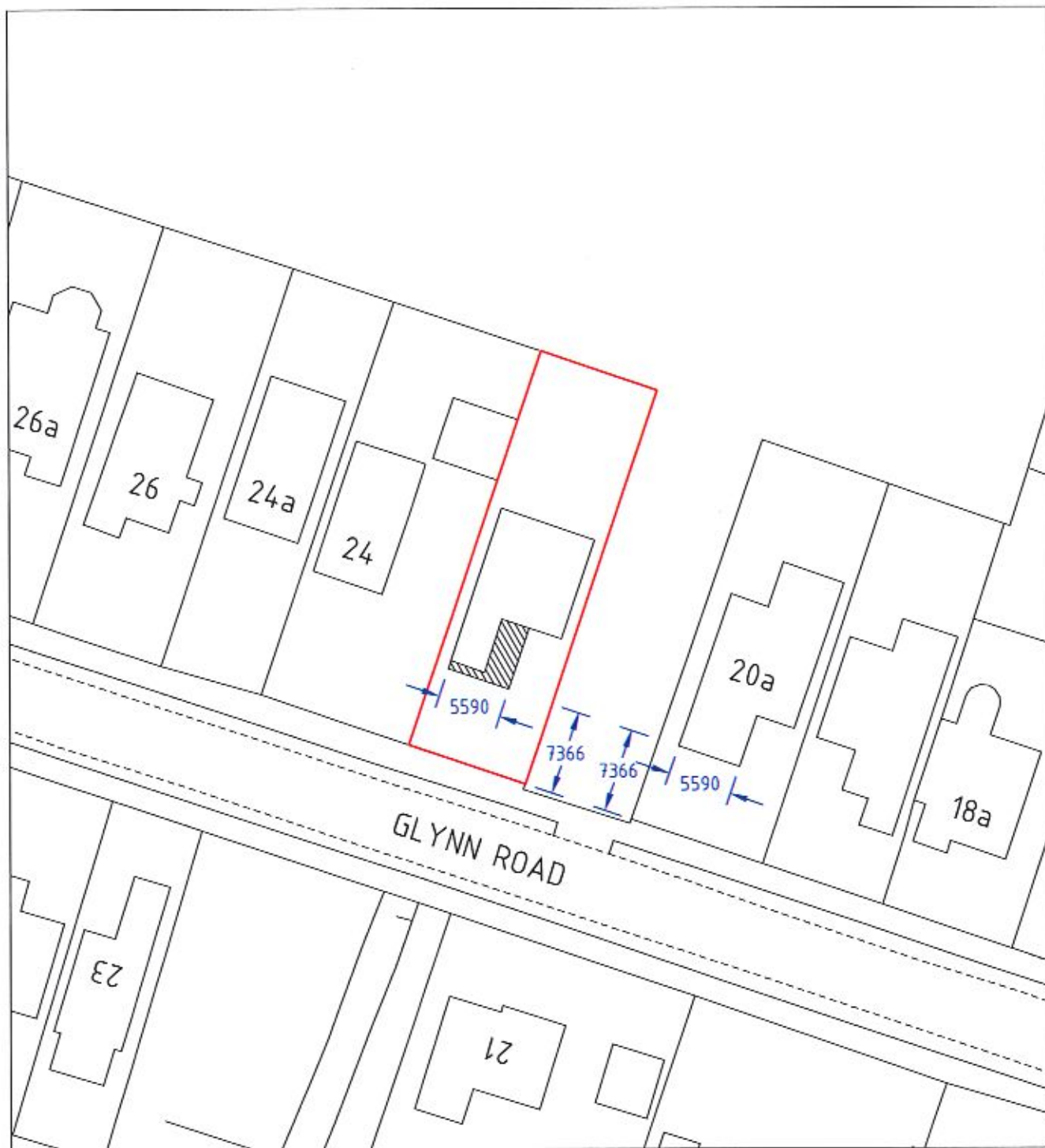
#### **Developments Within or Affecting Conservation Areas**

The development is not within a conservation area.

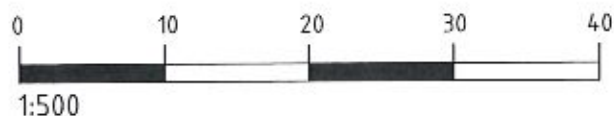
Phil Brigly BSc (Hons) MCABE  
Building Engineer







SCALE BARS (metres)



BLOCK PLAN



ADDRESS:

22 GLYNN ROAD  
PEACEHAVEN

Phil Brigly BSc (Hons) MBEng  
Building Engineer

PROJECT:

SINGLE STOREY EXTENSION

email: philbrigly@gmail.com  
mob: 07966 578180



SCALE: 1:500

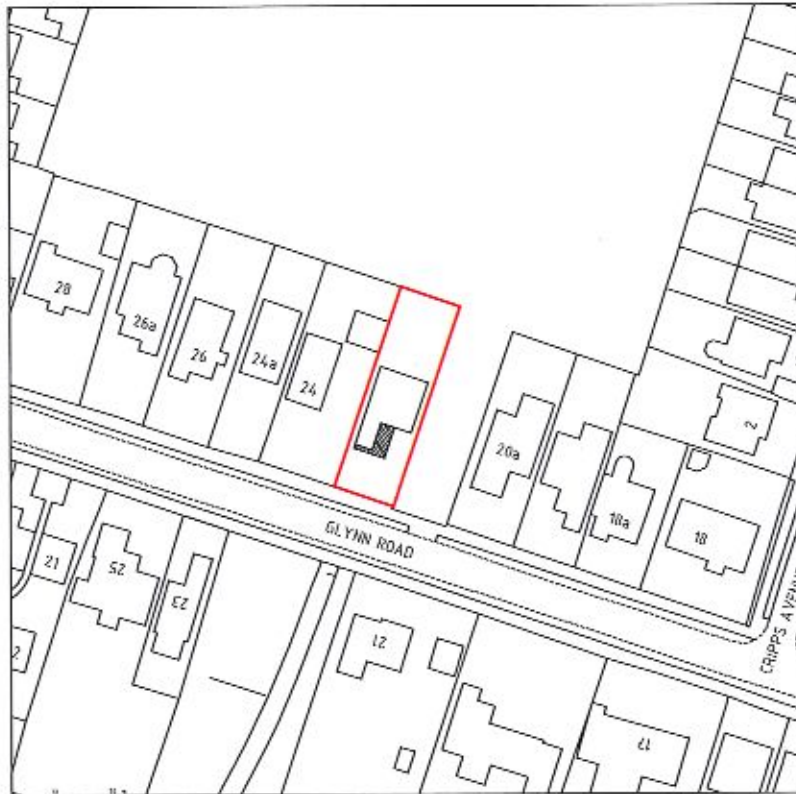
DATE: APRIL 2019

DRAWING No: PBP1143/03

DRAWING SIZE: A4 210x297mm

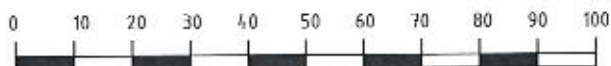
113





SITE LOCATION PLAN

SCALE BARS (metres)



1:1250



ADDRESS:

22 GLYNN ROAD  
PEACEHAVEN

PROJECT:

SINGLE STOREY EXTENSION

Phil Brigly BSc (Hons) MBEng  
Building Engineer

email: philbrigly@gmail.com  
mob: 07966 578180



SCALE: 1:1250

DATE: APRIL 2019

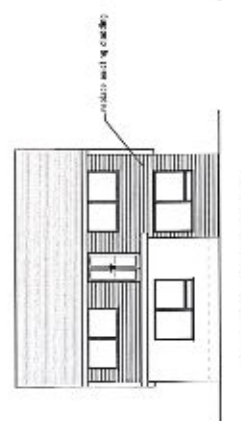
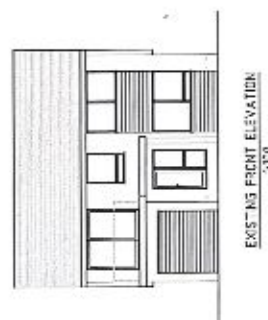
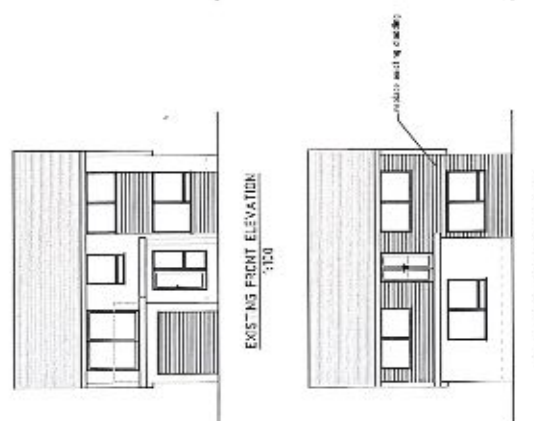
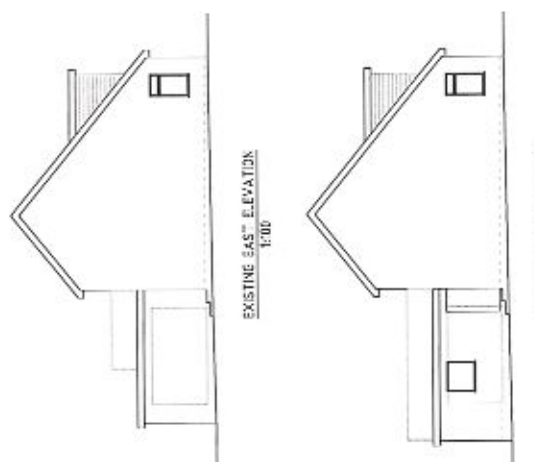
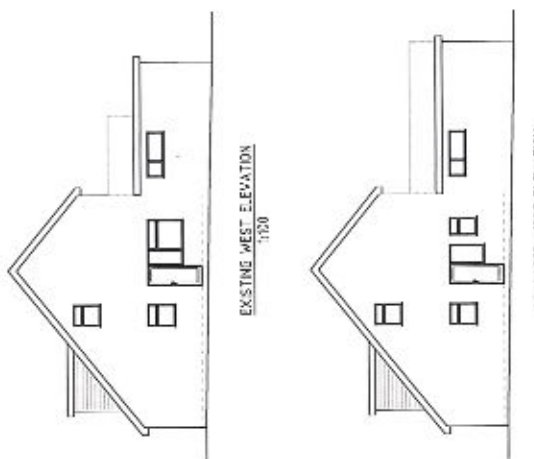
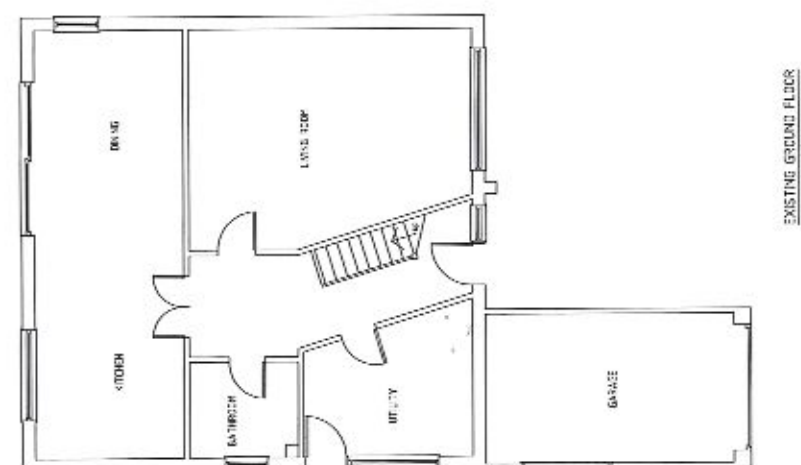
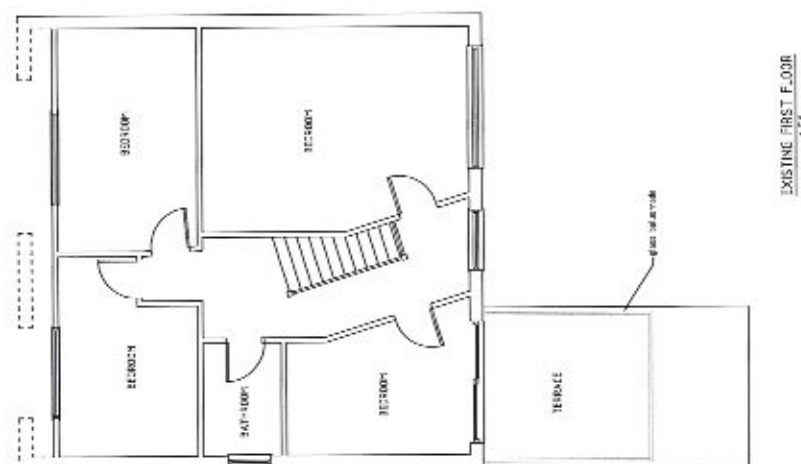
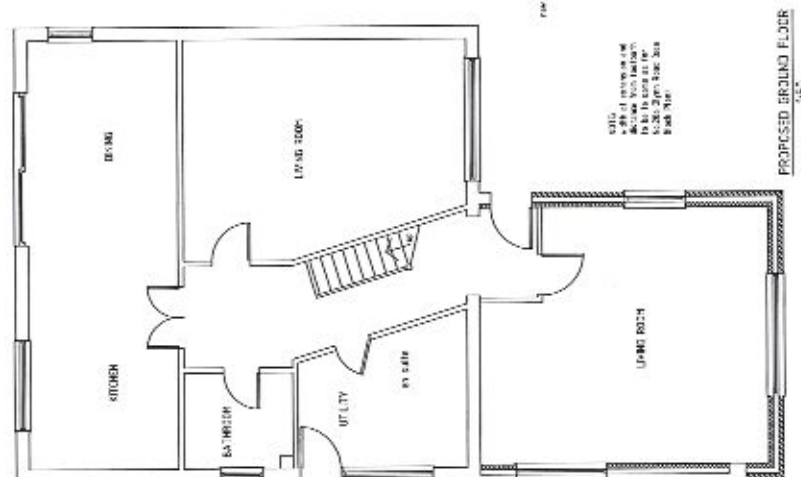
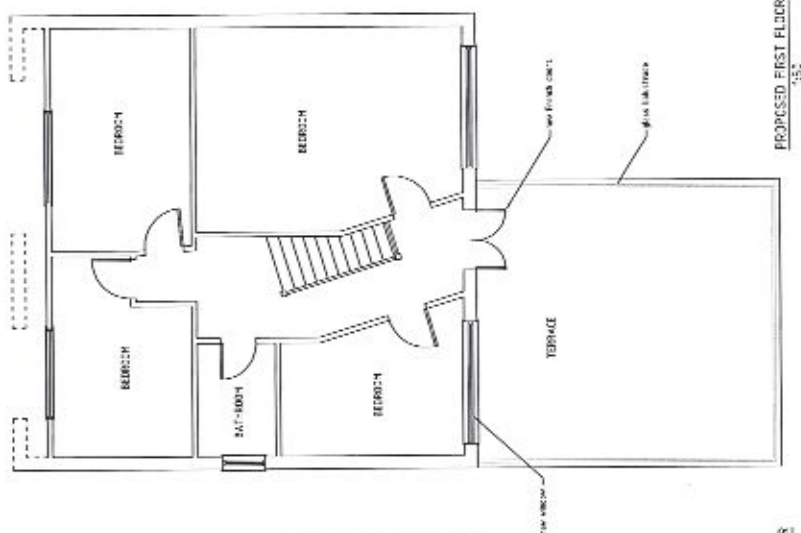
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115









## Community Infrastructure Levy (CIL) - Form 1: CIL Additional Information

Determining whether a Development may be CIL Liable - For submission with Planning Application

**Please note:** This version of the form should only be used for submissions relating to planning applications in England.  
There is a legacy version of the form for use in Wales: [Download the legacy version of this form](#)

Following the introduction of the Community Infrastructure Levy (CIL) all applicants for full planning permission, including householder applications and reserved matters following an outline planning permission, and applicants for lawful development certificates are required to provide the following information.

Please read the associated **Guidance Note** before you complete the form. This and additional per-question help can be viewed at: [https://ecab.planningportal.co.uk/uploads/1app/cil\\_guidance.pdf](https://ecab.planningportal.co.uk/uploads/1app/cil_guidance.pdf)

Please complete the form using block capitals and black ink and send to the Collecting Authority.

See [Planning Practice Guidance for CIL](#) for guidance on CIL generally, including exemption or relief.

### Privacy Notice

This form is provided by Planning Portal and based on the requirements provided by Government for the sole purpose of submitting information to a Local Authority in accordance with the 'The Community Infrastructure Levy Regulations 2010 (as amended)'.

Please be aware that once you have downloaded this form, Planning Portal will have no access to the form or the data you enter into it (unless you choose to upload it to any Planning Portal online service in agreement with the relevant terms and conditions). Any subsequent use of this form is solely at your discretion, including the choice to complete and submit it to a Local Authority with the declaration section.

Upon receipt of this form and any supporting information, it is the responsibility of the Local Authority to inform you of its obligations in regards to the processing of this information. Please refer to its website for further information on any legal, regulatory and commercial requirements relating to information security and data protection of the information you have provided.

### 1. Application Details

Applicant or Agent Name:

Paul Lewis

Planning Portal Reference (if applicable): PP-08243165

Local authority planning application number (if allocated):

Site Address:

22 Glynn Road  
Peacehaven  
BN10 8AT

Description of development:

Single storey extension to front elevation.



## 2. Applications to Remove or Vary Conditions on an Existing Planning Permission

a) Does the application seek to remove or vary conditions on an existing planning permission (i.e. Is it a Section 73 application)?

Yes

If 'Yes', please complete the rest of this question ☐

No

If 'No', you can skip to **Question 3** ☒

b) Please enter the application reference number

c) Does the application involve a change in the amount or use of new build development, where the total (including that previously granted planning permission) is over 100 square metres gross internal area?

Yes ☐ No ☐

d) Does the application involve a change in the amount of gross internal area where one or more new dwellings (including residential annexes) are to be created, either through new build or conversion (except the conversion of a single dwelling house into two or more separate dwellings with no additional gross internal area created)?

Yes ☐ No ☐

If you answered 'Yes' to either c) or d), please go to **Question 5**

If you answered 'No' to both c) and d), you can skip to **Question 8**

## 3. Reserved Matters Applications

a) Does the application relate to details or reserved matters on an existing permission that was granted prior to the introduction of the CIL charge in the relevant local authority area?

Yes

If 'Yes', please complete the rest of this question ☐

No

If 'No', you can skip to **Question 4** ☒

b) Please enter the application reference number

If you answered 'Yes' to a), you can skip to **Question 8**

If you answered 'No' to a), please go to **Question 4**

## 4. Liability for CIL

a) Does the application include new build development (including extensions and replacement) of 100 square metres gross internal area or above?

Yes ☐ No ☒

b) Does the application include creation of one or more new dwellings (including residential annexes) either through new build or conversion (except the conversion of a single dwelling house into two or more separate dwellings with no additional gross internal area created)?

Yes ☐ No ☒

If you answered 'Yes' to either a) or b), please go to **Question 5**

If you answered 'No' to both a) and b), you can skip to **Question 8**



## 5. Exemption or Relief

a) Is the site owned by a charity where the development will be wholly or mainly for charitable purposes, and the development will be either occupied by or under the control of a charitable institution?

Yes ☐ No ☒

b) Does the proposed development include affordable housing which qualifies for mandatory or discretionary Social Housing relief?

Yes ☐ No ☒

If you answered 'Yes' to either a) or b), please note that you will need to complete 'CIL Form 10: Charitable and/or Social Housing Relief Claim'. The form must be submitted to the Collecting Authority, **and** any relief must be granted by them, prior to the commencement of the development. Otherwise the full CIL charge will be payable.

A Commencement (of development) Notice (CIL Form 6) must also be received by the Collecting Authority prior to the commencement of the development otherwise:

- If your CIL Liability Notice was issued on or after 1 September 2019  
A surcharge equal to 20% of the notional CIL chargeable amount or £2,500, whichever is the lower amount, will be incurred; **or**
- If your CIL Liability Notice was issued prior to 1 September 2019  
The relief previously granted will be rescinded and the full levy charge will be payable.

You will also need to complete 'CIL Form 10: Charitable and/or Social Housing Relief Claim' if you think you are eligible for discretionary charitable relief, or discretionary social housing relief (if this is available in your area).

If you wish to claim exceptional circumstances relief, and if the charging authority have made exceptional circumstances relief available in their area (please check their website for details), you will need to complete 'CIL Form 11: Exceptional Circumstances Relief Claim'. The form must be submitted to the Collecting Authority, **AND** any relief must be granted by them, prior to the commencement of the development. Otherwise the full CIL charge will be payable.

All CIL Forms are available from: [www.planningportal.co.uk/cil](http://www.planningportal.co.uk/cil)

c) Do you wish to claim a self build exemption for a whole new home?

Yes ☐ No ☒

If you have answered 'Yes' to c), please note that you will need to complete 'CIL Form 7: Self Build Exemption Claim - Part 1'. This form must be submitted to the Collecting Authority, **and** any exemption must be granted by them, prior to the commencement of the development. Otherwise the full CIL charge will be payable.

A Commencement (of development) Notice (CIL Form 6) must also be received by the Collecting Authority prior to the commencement of the development otherwise:

- If your CIL Liability Notice was issued on or after 1 September 2019  
A surcharge equal to 20% of the notional CIL chargeable amount or £2,500, whichever is the lower amount, will be incurred; **or**
- If your CIL Liability Notice was issued prior to 1 September 2019  
The exemption previously granted will be rescinded and the full levy charge will be payable.

All CIL Forms are available from: [www.planningportal.co.uk/cil](http://www.planningportal.co.uk/cil)

d) Do you wish to claim an exemption for a residential annex or extension?

Yes ☐ No ☒

If you have answered 'Yes' to d), please note that you will need to complete either 'CIL Form 8: Residential Annex Exemption Claim' or 'CIL Form 9: Residential Extension Exemption Claim'. The relevant form must be submitted to the Collecting Authority, **and** any exemption must be granted by them, prior to the commencement of the development. Otherwise the full CIL charge will be payable.

In respect of a residential annex, a Commencement (of development) Notice (CIL Form 6) must also be received by the Collecting Authority prior to the commencement of the development otherwise:

- If your CIL Liability Notice was issued on or after 1 September 2019  
A surcharge equal to 20% of the notional CIL chargeable amount or £2,500, whichever is the lower amount, will be incurred; **or**
- If your CIL Liability Notice was issued prior to 1 September 2019  
The exemption previously granted will be rescinded and the full levy charge will be payable.

All CIL Forms are available from: [www.planningportal.co.uk/cil](http://www.planningportal.co.uk/cil)

## 6. Proposed New Gross Internal Area

a) Does the application involve new **residential development** (including new dwellings, extensions, conversions/changes of use, garages, basements or any other buildings ancillary to residential use)?

Please note, conversion of a single dwelling house into two or more separate dwellings (without extending them) is **not** liable for CIL. If this is the sole purpose of your development proposal, you should answer 'No' to Question 4b above.

Yes ☒ No ☐

If yes, please complete the table in section 6c below, providing the requested information, including the gross internal area relating to new dwellings, extensions, conversions, garages or any other buildings ancillary to residential use.

b) Does the application involve new **non-residential development**?

Yes ☐ No ☒

If yes, please complete the table in section 6c below, using the information from your planning application.

c) Proposed gross internal area:

Development type	(i) Existing gross internal area (square metres)	(ii) Gross internal area to be lost by change of use or demolition (square metres)	(iii) Total gross internal area proposed (including change of use, basements, and ancillary buildings) (square metres)	(iv) Net additional gross internal area following development (square metres) (iv) = (iii) - (ii)
Market housing (if known)	153	0	167	
Social Housing, including shared ownership housing (if known)	0	0	0	
Total residential	153	0	167	
Total non-residential	0	0	0	
Grand total				

## 7. Existing Buildings

a) How many existing buildings on the site will be retained, demolished or partially demolished as part of the development proposed?

Number of buildings:

b) Please state for each existing building/part of an existing building that is to be retained or demolished, the gross internal area that is to be retained and/or demolished and whether all or part of each building has been in use for a continuous period of at least six months within the past thirty six months. Any existing buildings into which people do not usually go or only go into intermittently for the purposes of inspecting or maintaining plant or machinery, or which were granted temporary planning permission should not be included here, but should be included in the table in section 7c.

	Brief description of existing building/part of existing building to be retained or demolished.	Gross internal area (sqm) to be retained.	Proposed use of retained gross internal area.	Gross internal area (sqm) to be demolished.	Was the building or part of the building occupied for its lawful use for 6 continuous months of the 36 previous months (excluding temporary permissions)?	When was the building last occupied for its lawful use? Please enter the date (dd/mm/yyyy) or tick still in use.
1	Dwelling	153	Dwelling	0	Yes <input checked="" type="checkbox"/> No <input type="checkbox"/>	Date: <input type="text"/> or Still in use: <input checked="" type="checkbox"/>
2					Yes <input type="checkbox"/> No <input type="checkbox"/>	Date: <input type="text"/> or Still in use: <input type="checkbox"/>
3					Yes <input type="checkbox"/> No <input type="checkbox"/>	Date: <input type="text"/> or Still in use: <input type="checkbox"/>
4					Yes <input type="checkbox"/> No <input type="checkbox"/>	Date: <input type="text"/> or Still in use: <input type="checkbox"/>
Total floorspace						



## 7. Existing Buildings (continued)

c) Does the development proposal include the retention, demolition or partial demolition of any whole buildings which people do not usually go into or only go into intermittently for the purposes of inspecting or maintaining plant or machinery, or which were granted planning permission for a temporary period?

Yes ☐ No ☒

If yes, please complete the following table:

	Brief description of existing building (as per above description) to be retained or demolished.	Gross internal area (sqm) to be retained	Proposed use of retained gross internal area	Gross internal area (sqm) to be demolished
1				
2				
3				
4				
Total of which people do not normally go into, only go intermittently to inspect or maintain plant or machinery, or which was granted temporary planning permission				

d) If the development proposal involves the conversion of an existing building, will it be creating a new mezzanine floor within the existing building?

Yes ☐ No ☒

If Yes, how much of the gross internal area proposed will be created by the mezzanine floor?

Use	Mezzanine gross internal area (sqm)

## 8. Declaration

I/we confirm that the details given are correct.

Name:

Phil Brigly

Date (DD/MM/YYYY). Date cannot be pre-application:

22/10/2019

It is an offence for a person to knowingly or recklessly supply information which is false or misleading in a material respect to a collecting or charging authority in response to a requirement under the Community Infrastructure Levy Regulations (2010) as amended (regulation 110, SI 2010/948). A person guilty of an offence under this regulation may face unlimited fines, two years imprisonment, or both.

## For local authority use only

Application reference:



**PARISH CONSULTATION LETTER**

<b>From:</b>	Planning	<b>To:</b>	<b>Peacehaven</b>
<b>Comments to be received by:</b>	<b>25.11.2019.</b>		
<b>Case No:</b>	LW/19/0774		
<b>Case Officer:</b>	Mr James Emery		

**Location:** 22 Roderick Avenue Peacehaven East Sussex BN10 8JT

**Proposal:** Single storey rear extension, new front addition and external facing materials change

---

I am consulting you on the above development. A copy of the above planning application, together with accompanying plans, drawings and other documents, is available on our Public Access website by following the link below:

<http://www.lewes.gov.uk/planning/1139.asp>

We would be grateful to receive any observations no later than 25.11.2019.

Yours faithfully

**Mr James Emery**

Case Worker (planning)

Phone: 01273 471600

Email: [Customerfirst@lewes-eastbourne.gov.uk](mailto:Customerfirst@lewes-eastbourne.gov.uk)

Website: [lewes-eastbourne.gov.uk](http://lewes-eastbourne.gov.uk)





**Darren Moore**  
Architectural Services Ltd

***PLANNING STATEMENT FOR A SINGLE  
STOREY REAR EXTENSION, SMALL FRONT ADDITION  
AND WALL EXISTING WALL SURFACE FINISH  
ALTERATION AT***

22 RODERICK AVENUE  
PEACEHAVEN  
EAST SUSSEX  
BN10 8JT



Darren Moore Architectural Services Ltd  
15 Headland Avenue, Seaford, East Sussex, BN25 4PY  
07552 376064 01323 490670  
darren@dm-as.co.uk www.dm-as.co.uk

Darren Moore Architectural Services Ltd. Registered in England Company No. 9530504  
Registered Office: 15 Headland Avenue, Seaford, East Sussex. BN25 4PY

## SCOPE OF WORKS

The application property is a detached bungalow built around the 1950's. The proposal is to build a single storey extension to the rear, increase the size slightly of what was the porch, relocated the principle entrance to the side and resurface the existing house walls to match those of the proposed extension.

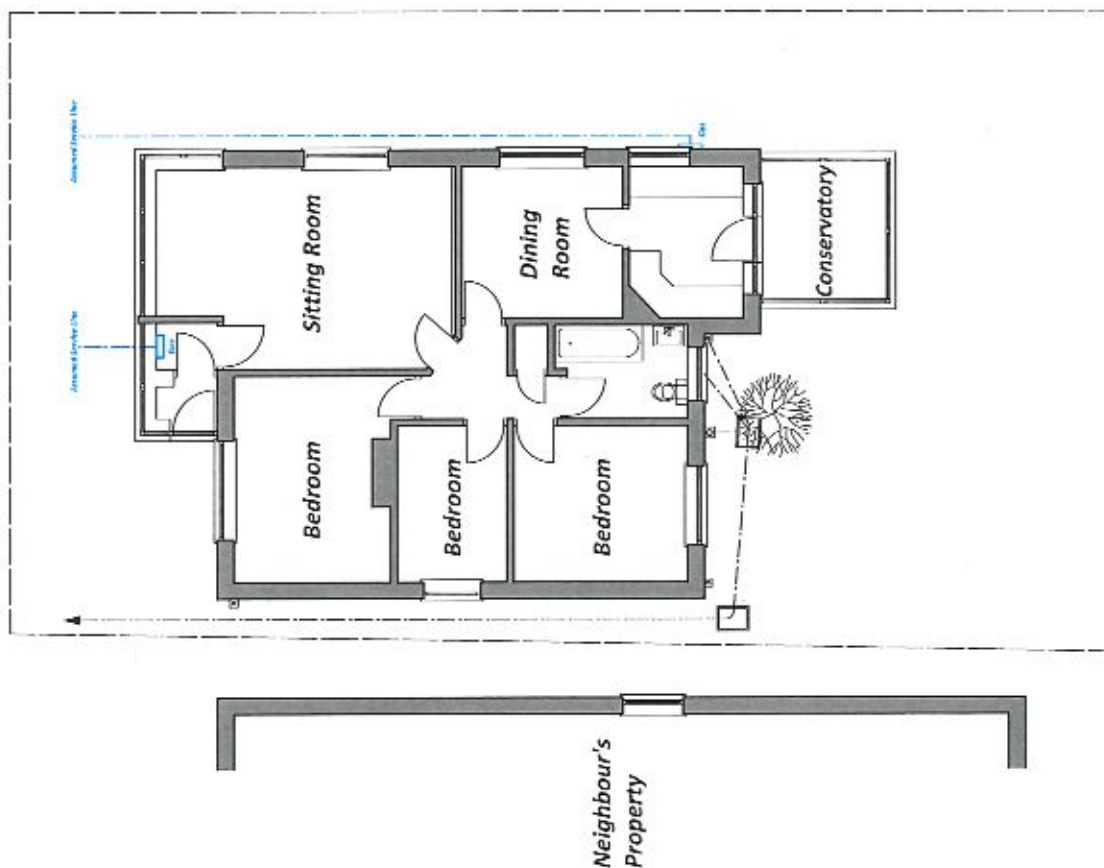
The proposed extension will project out into the garden the same amount as the nearest neighbouring property. The proposed extension will have a simple flat roof so as to minimise its overall height, but with a slight overhang and vertical upstand detail to make for a more contemporary appearance. The proposed extension will have smooth rendered walls. The house walls will be rendered smooth to match where currently they are finished with painted rough pebbledash. The windows will be white plastic to match existing, but the large sliding doors will be grey aluminium.

There are no windows to the nearest neighbouring property along the line of the proposed extension, nor will there be any in the proposed extension. The only window on the nearest neighbouring property facing the application site serves a kitchen and can be seen on the proposed plans. As part of the work there will be a new side-facing window installed to one of the existing house rooms. Although this is considered permitted development being at ground floor level, the proposed window has been given respectful consideration in terms of its location. As opposed to having it central to the room it will be sited in the corner so that the sense of overlooking and loss of privacy is neutralised. Furthermore the size of the window is limited to 1m<sup>2</sup> to conform to current building regulations where the house is just less than 1m of the boundary, (risk of fire spread).

On the opposite side the other neighbouring property has an even deeper extension, so the proposed extensions depth of 6115mm is considered entirely sensible on this occasion. To the front there will be a very small addition. There is currently a front entrance porch which is in line with the rest of the house. The small projection of just 350mm is just enough to make the pitched roof detail work, where otherwise the left hand side pitch would have been much interrupted. The pitched roof is considered complimentary to the overall appearance of the property compared to the current lean to type addition.



# Existing Ground Floor Plan



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Seaford, East Sussex  
BN25 4PY, 07552 376064  
01323 490670 darren@dm-as.co.uk  
www.dm-as.co.uk

**22 Roderick Avenue Peacehaven**

Drawing No 01 Scale 1:100 on A3 paper  
Please do not print off this plan, any other use is not allowed with Darren Moore

1m 2m 3m 4m 5m

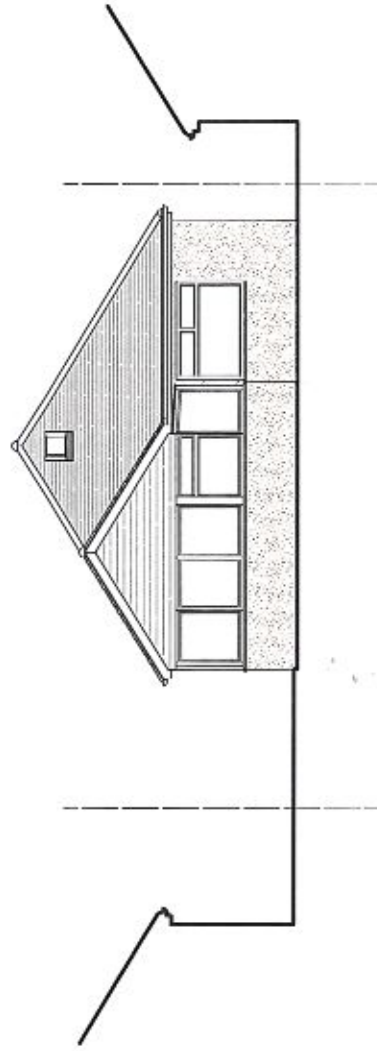
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 Seaford, East Sussex  
 BN25 4PY, 07552 376064  
 01323 490670 darren@dm-as.co.uk  
 www.dm-as.co.uk

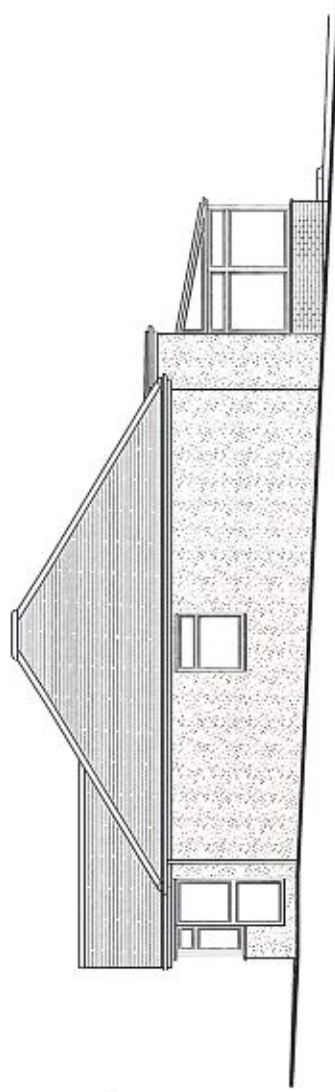
**22 Roderick Avenue Peacehaven**

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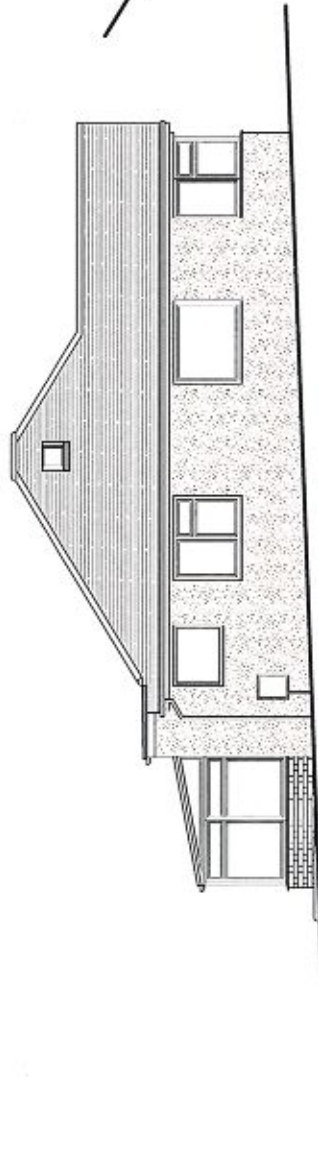
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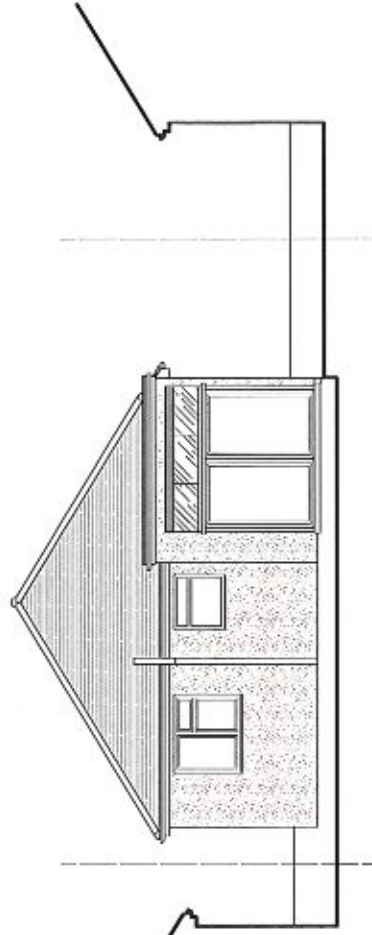
**Existing Front Elevation**



**Existing Side Elevation**



**Existing Side Elevation**



**Existing Rear Elevation**



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Architectural Services Ltd

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Seaford, East Sussex  
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01323 490670 darren@dm-ars.co.uk  
www.dm-ars.co.uk

**22 Roderick Avenue Peacehaven**

Drawing No 03

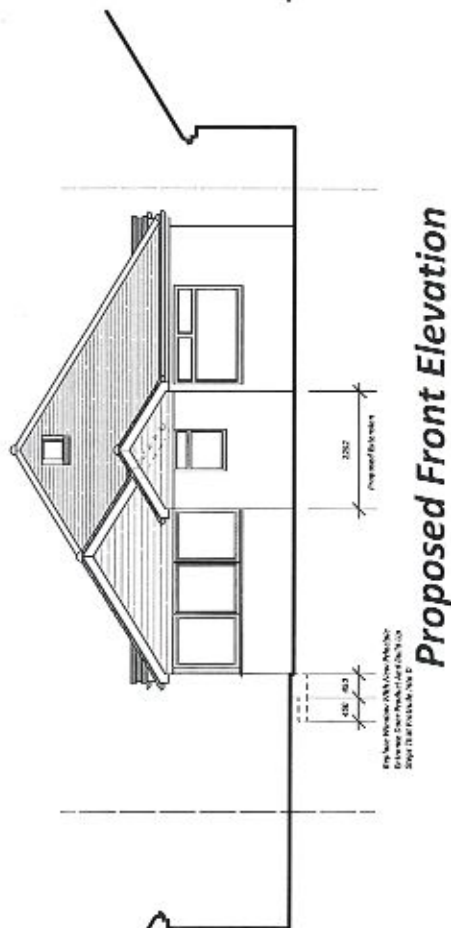
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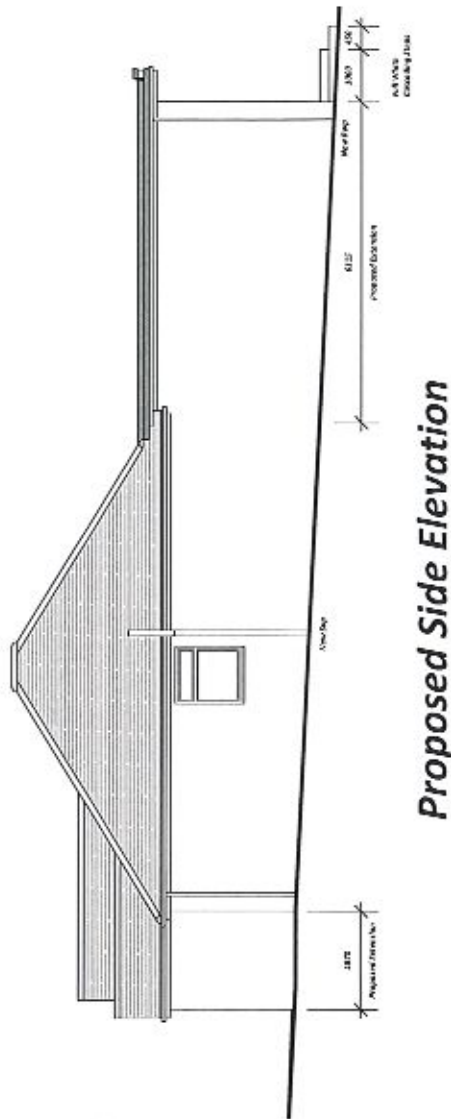
Notes do not scale off the plans, any reference to be sought in the Notes / Areas

1m 2m 3m 4m 5m





Proposed Front Elevation



Proposed Side Elevation

## External Facing Materials

**How do I know if my child has a learning problem?** Learning problems usually develop gradually over time. If you are concerned about your child's ability to learn, please contact your doctor.

**What can I do to help my child learn better?** The best way to help your child learn is to provide a supportive environment at home. Encourage your child to practice reading and writing skills every day.

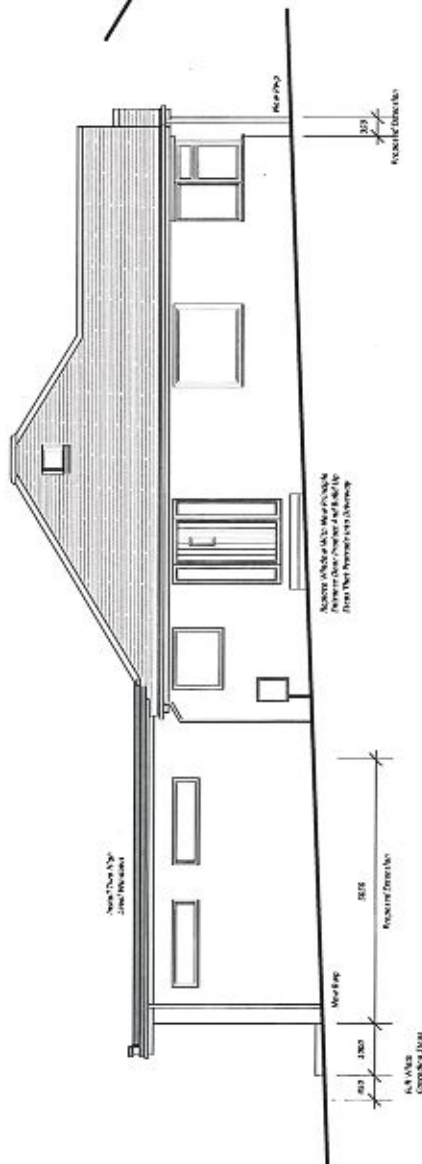
**When should I seek professional help?** If you notice signs of a learning problem, such as difficulty reading or writing, it is important to seek professional help as soon as possible.

**What types of professionals can help?** Professionals who can help include teachers, psychologists, speech therapists, and occupational therapists.

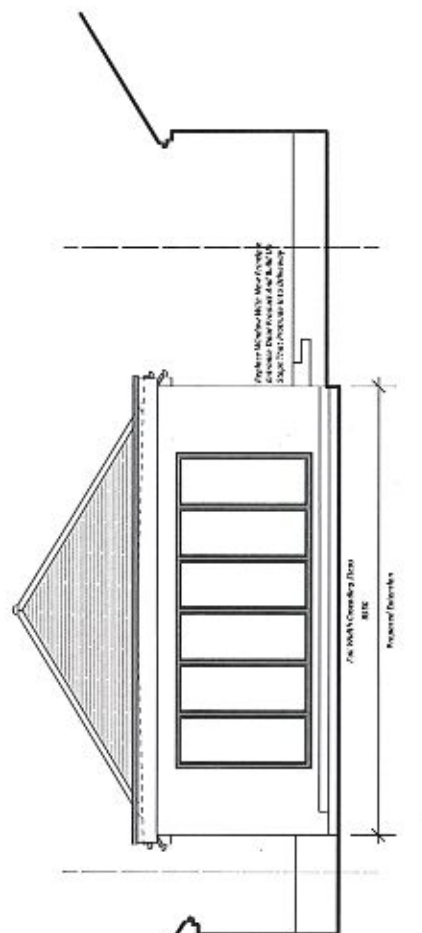
**Are there any medications available?** There are no specific medications for learning problems, but some children may benefit from medication to manage associated conditions like ADHD.

**Can learning problems be cured?** While there is no cure for learning problems, early intervention and ongoing support can significantly improve a child's academic performance and self-esteem.

**Is there anything else I should know?** Remember that every child learns differently. It's important to focus on your child's strengths and provide them with the appropriate challenges and support they need to succeed.



Proposed Side Elevation

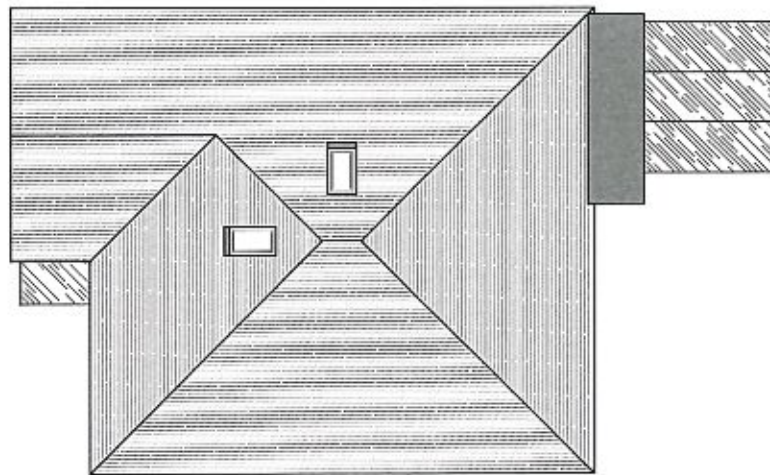


### Proposed Rear Elevation

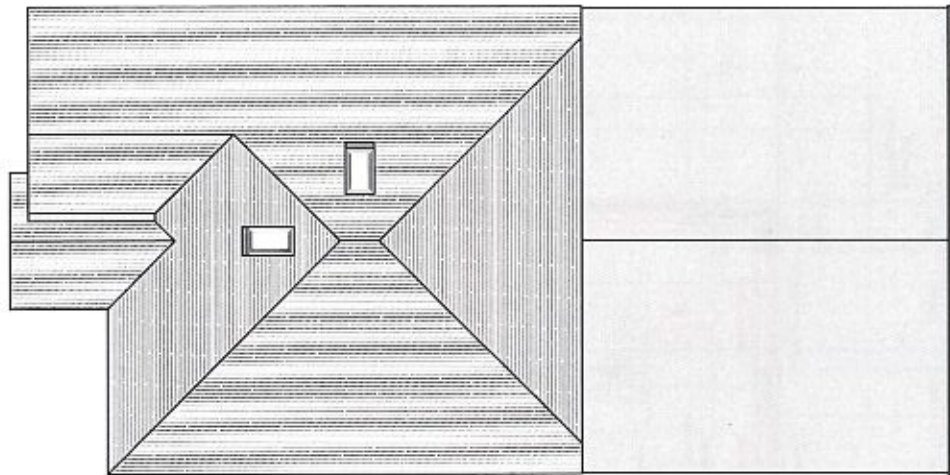
 <b>Darren Moore</b> Architectural Services Ltd	Darren Moore, 15 Headland Avenue, Seaford, East Sussex BN25 4PY, D7552 375064 01323 490670 darr@dm-ar.co.uk <a href="http://www.dm-ar.co.uk">www.dm-ar.co.uk</a>	<h1 style="text-align: center;">22 Roderick Avenue Peacehaven</h1>	<div style="display: flex; justify-content: space-around; align-items: center;"> <div style="display: flex; gap: 10px;"> <div style="border-bottom: 1px solid black; width: 40px;"></div> <div style="border-bottom: 1px solid black; width: 40px;"></div> <div style="border-bottom: 1px solid black; width: 40px;"></div> <div style="border-bottom: 1px solid black; width: 40px;"></div> </div> <div style="margin-top: 5px;"> <span>1m</span> <span>2m</span> <span>3m</span> <span>4m</span> <span>5m</span> </div> </div>
		<p style="text-align: right;"><b>Drawing No 04</b></p> <p style="text-align: right;"><b>Scale 1:100 on A3 paper</b></p> <p style="font-size: small; text-align: right;">This drawing is the property of Darren Moore and may not be used or copied without his written consent.</p>	



## Existing Roof Plan



## Proposed Roof Plan



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Seaford, East Sussex  
BN25 4PY, 07552 376064  
01323 490670 darren@dm-as.co.uk  
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**22 Roderick Avenue Peacehaven**

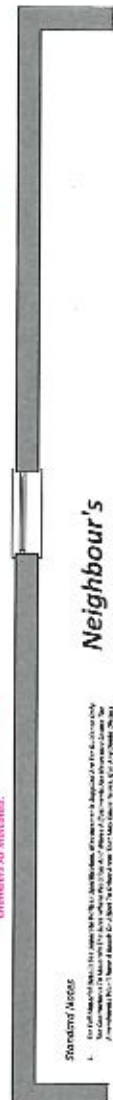
Drawing No 05

Scale 1:100 on A3 paper

Please do not make off-site plans, any actual due to be confirmed with Darren Moore

1m 2m 3m 4m 5m

## Larger Scale for Building Control Purposes!

[illegible]

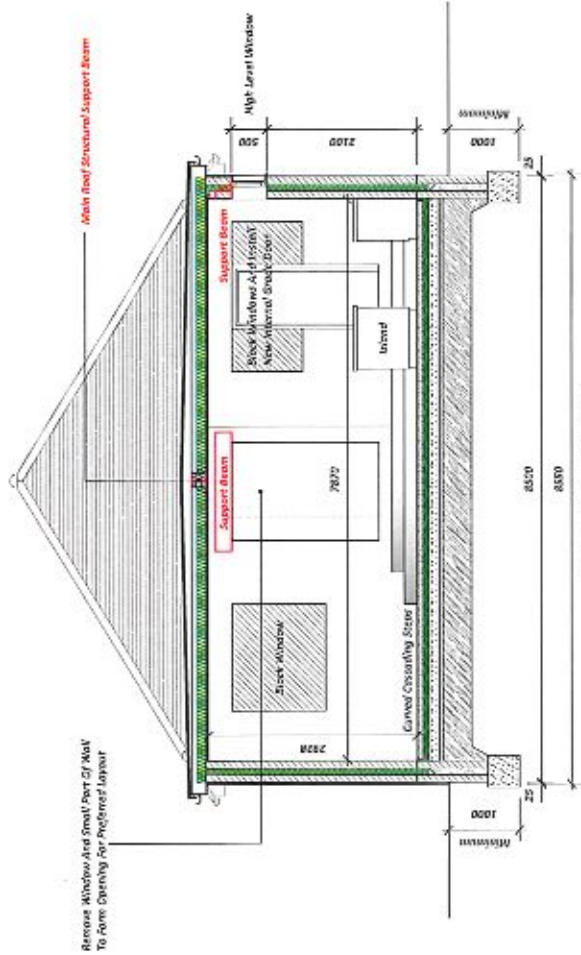
**These Drawings Are To Be Read In Conjunction With The Separate Written Specification Of Materials And Structural Engineer's Report Where Necessary**

Garrett Moore, 25 Maryland Avenue,  
Frederick, East Sussex  
01327 636731 [garrett@nps.gov](mailto:garrett@nps.gov)

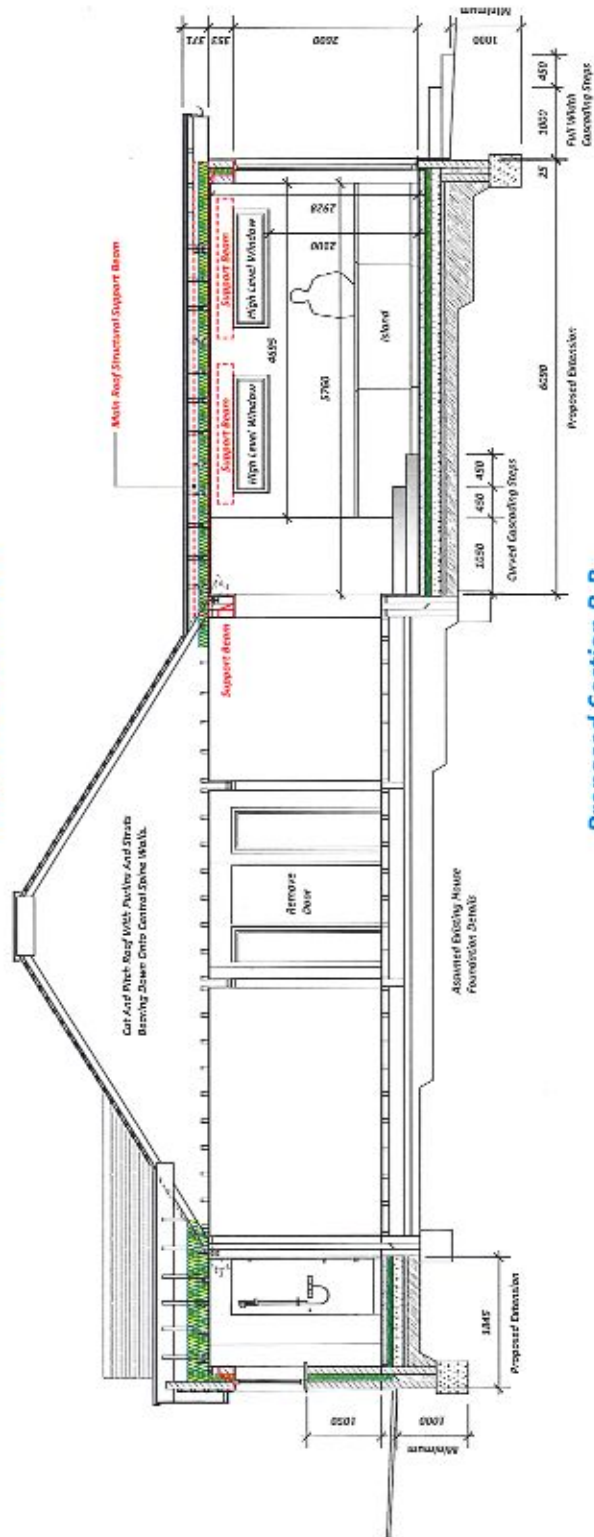
22 Roderick Avenue Peacehaven

Drawing No 26	Scale 1:50 on A2 paper
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On a sunny day, a few miles from the city, the hills are a warm and easy way to the beach. The hills are a warm and easy way to the beach.



Proposed Section A-A



Proposed Section B-B

Standard Notes

1. All dimensions are in millimetres unless otherwise stated.
2. All work is to be in accordance with the Building Regulations 2010 and the Building Regulations 2010 (Amendment) 2015.
3. All work is to be in accordance with the Building Regulations 2010 and the Building Regulations 2010 (Amendment) 2015.
4. All work is to be in accordance with the Building Regulations 2010 and the Building Regulations 2010 (Amendment) 2015.
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6. All work is to be in accordance with the Building Regulations 2010 and the Building Regulations 2010 (Amendment) 2015.
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8. All work is to be in accordance with the Building Regulations 2010 and the Building Regulations 2010 (Amendment) 2015.
9. All work is to be in accordance with the Building Regulations 2010 and the Building Regulations 2010 (Amendment) 2015.
10. All work is to be in accordance with the Building Regulations 2010 and the Building Regulations 2010 (Amendment) 2015.

These Drawings Are To Be Used In Connection  
With The Separate Written Specification Of Materials  
And Structure/Engineer's Report Where Necessary



**Darren Moore**  
Architectural Services Ltd

**22 Roderick Avenue Peacehaven**

Drawing No 07

Scale 1:50 on A2 paper

2m 2m 2m 2m

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Seaford, East Sussex  
BN23 6PY, 07502 274042  
02323 480672 0800 000 0000 0000 0000  
www.darrenmoore.co.uk

22 Roderick Avenue Peacehaven

Drawing No 07

Scale 1:50 on A2 paper

2m 2m 2m 2m

135





Proposed Extension



Proposed Extension



**Darren Moore**  
Architectural Services Ltd

Darren Moore, 15 headland  
Avenue, Seaford, East Sussex  
BN25 4PY, 07552 376064  
01323 400670 darren@dm-as.co.uk  
www.dm-as.co.uk

## 22 Roderick Avenue Peacehaven

Site Location Plan

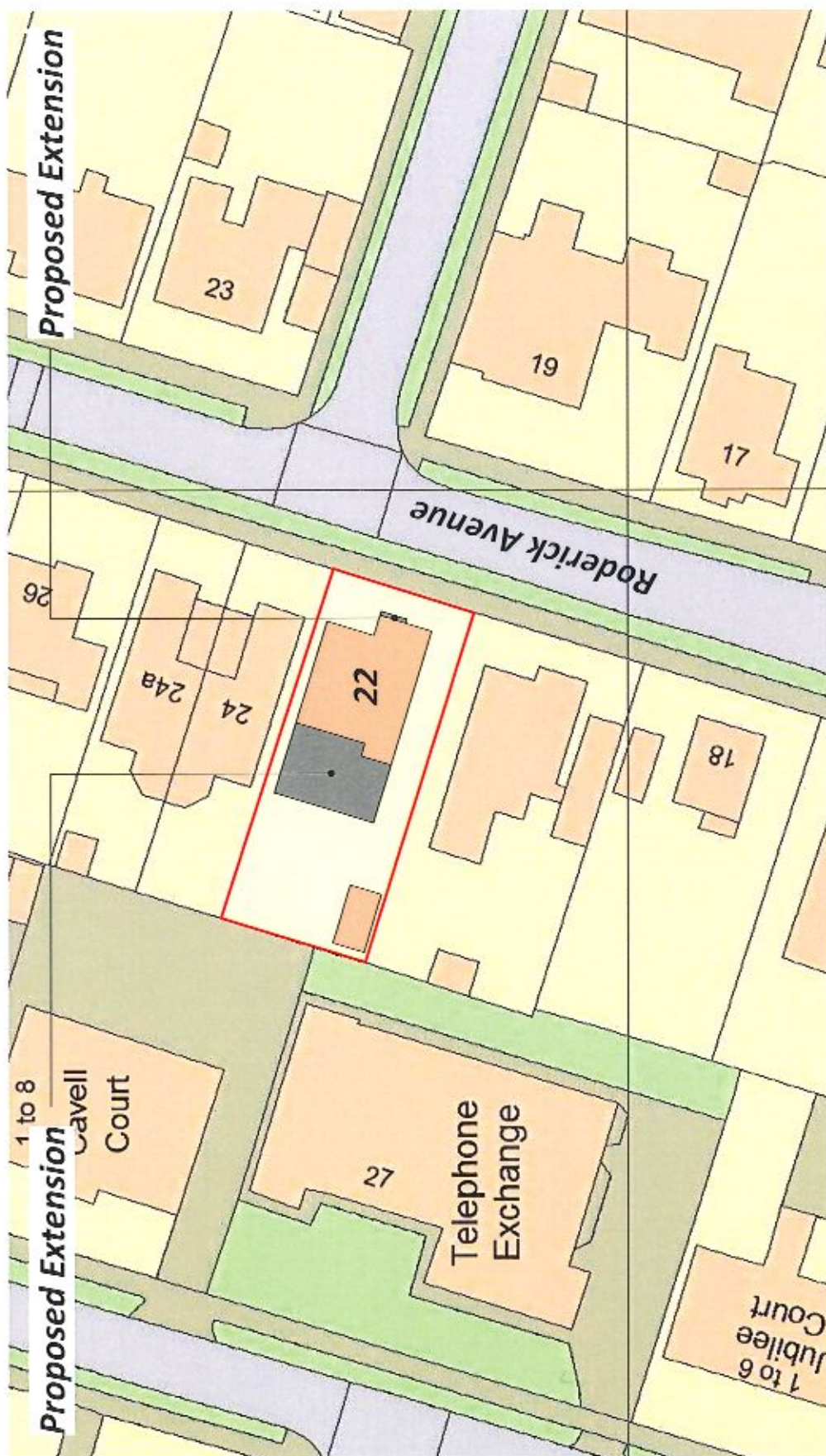
1:1250



10m 20m 30m

137





5m 10m

## 22 Roderick Avenue Peacehaven

Block Plan 1:500

Darren Moore, 15 Headland  
Avenue, Seaford, East Sussex  
BN25 4PY, 07552 376064  
01323 490670  
darren@dm-as.co.uk  
www.dm-as.co.uk

**Darren Moore**  
Architectural Services Ltd







## Community Infrastructure Levy (CIL) - Determining whether a Development may be CIL Liable Planning Application Additional Information Requirement form

Following the introduction of the Community Infrastructure Levy (CIL) all applicants for full planning permission, including householder applications and reserved matters following an outline planning permission, and applicants for lawful development certificates are required to provide the following information. **Please read the associated Guidance Notes before you complete the form.** Notes on the questions are provided at [http://www.planningportal.gov.uk/uploads/1app/cil\\_guidance.pdf](http://www.planningportal.gov.uk/uploads/1app/cil_guidance.pdf)

Please complete the form using block capitals and black ink and send to the Charging Authority (or Collecting Authority if this differs from the Charging Authority).

See [Planning Practice Guidance for CIL](#) for guidance on CIL generally, including exemption or relief..

### 1. Application Details

Applicant or Agent Name:

MATT CHAPMAN

Planning Portal Reference  
(if applicable):

Local authority planning application number  
(if allocated):

Site Address:

22 RODERICK AVENUE  
PEACEHAVEN  
EAST SUSSEX  
BN10 8JT

Description of development:

SINGLE STOREY REAR EXTENSION, NEW FRONT ADDITION AND EXTERNAL FACING MATERIALS CHANGE

Does the application relate to minor material changes to an existing planning permission (Is it a Section 73 application)?

Yes ☐

Please enter the application number:

No ☒

If yes, please go to **Question 3**. If no, please continue to **Question 2**.

## 2. Liability for CIL

Does your development include:

a) New build floorspace (including extensions and replacement) of 100 sq ms or above?

Yes ☐ No ☒

b) Proposals for one or more new dwellings either through conversion or new build (except the conversion of a single dwelling house into two or more separate dwellings)?

Yes ☐ No ☒

c) None of the above

Yes ☐ No ☒

If you answered yes to either a), or b) please go to **Question 4**.

If you answered yes to c), please go to **8. Declaration** at the end of the form.

## 3. Applications for Minor Material Changes to an Existing Planning Permission

a) Does this application involve a change in the amount or use of new build floorspace, where the total floorspace, including that previously granted planning permission, is over 100 sq m?

Yes ☐ No ☐

b) Does this application involve a change in the amount of floorspace where one or more new dwellings are proposed, either through conversion or new build (except the conversion of a single dwelling house into two or more separate dwellings)?

Yes ☐ No ☐

If you answered yes to either a), or b) please go to **Question 4**.

If you answered no to both a) and b), please go to **8. Declaration** at the end of the form.

## 4. Exemption or Relief

a) Is the site owned by a charity where the development will be wholly or mainly for charitable purposes, and the development will be either occupied by or under the control of a charitable institution?

Yes ☐ No ☐

b) Does the proposed development include affordable housing which qualifies for mandatory or discretionary Social Housing relief?

Yes ☐ No ☐

If you answered yes to a) or b), please note that you will need to complete and have agreed CIL Form 2 - 'Claiming Exemption or Relief', and submitted a Commencement (of development) Notice to the Charging/Collecting Authority, which the Authority must receive prior to the commencement of your development, in order to benefit from relief from the levy. You will also need to complete CIL Form 2 if you think you are eligible for discretionary charitable relief, or exceptional circumstances relief, if this is available in your area. Please check the Charging Authority's website for details. CIL Form 2 is available from [www.planningportal.gov.uk/cil](http://www.planningportal.gov.uk/cil)

c) Do you wish to claim a self build exemption for a whole new home?

Yes ☐ No ☐

If you have answered yes to c) please also complete a CIL Form 7 - 'Self Build Exemption Claim Form: Part 1' available from [www.planningportal.gov.uk/cil](http://www.planningportal.gov.uk/cil). Please note you will need to complete and have agreed CIL Form 7, and submitted a Commencement (of development) Notice to the Charging/Collecting Authority, which the Authority must receive prior to the commencement of your development, in order to benefit from relief from the levy.

d) Do you wish to claim a self build exemption for a residential annex or extension?

Yes ☐ No ☐

If you have answered yes to d) please also complete either CIL Form 8 - 'Self Build Residential Annex Exemption Claim Form' or CIL Form 9 - 'Self Build Extension Exemption Claim Form' available from [www.planningportal.gov.uk/cil](http://www.planningportal.gov.uk/cil). Please note you will need to have completed and agreed either CIL Form 8 or 9, as appropriate, and submitted a Commencement (of development) Notice to the Charging/Collecting Authority, which the Authority, if in respect of a residential annex, must receive prior to the commencement of your development, in order to benefit from relief from the levy.

## 5. Reserved Matters Applications

Does this application relate to details or reserved matters pursuant to an application that was granted planning permission prior to the introduction of the CIL charge in the relevant local authority area?

Yes ☐ Please enter the application number:

No ☐

If you answered yes, please go to **8. Declaration** at the end of the form.

If you answered no, please continue to complete the form.

142



## 6. Proposed New Floorspace

a) Does your application involve new **residential floorspace** (including new dwellings, extensions, conversions/changes of use, garages, basements or any other buildings ancillary to residential use)?

N.B. conversion of a single dwelling house into two or more separate dwellings (without extending them) is NOT liable for CIL. If this is the sole purpose of your development proposal, answer 'no' to Question 2b and go straight to the declaration at Question 8.

Yes ☐ No ☐

If yes, please complete the table in section 6c) below, providing the requested information, including the floorspace relating to new dwellings, extensions, conversions, garages or any other buildings ancillary to residential use.

b) Does your application involve new **non-residential floorspace**?

Yes ☐ No ☐

If yes, please complete the table in section 6c) below, using the information provided for Question 18 on your planning application form.

c) Proposed floorspace:

Development type	(i) Existing gross internal floorspace (square metres)	(ii) Gross internal floorspace to be lost by change of use or demolition (square metres)	(iii) Total gross internal floorspace proposed (including change of use, basements, and ancillary buildings) (square metres)	(iv) Net additional gross internal floorspace following development (square metres) (iv) = (iii) - (ii)
Market Housing (if known)				
Social Housing, including shared ownership housing (if known)				
Total residential floorspace				
Total non-residential floorspace				
Total floorspace				

## 7. Existing Buildings

a) How many existing buildings on the site will be retained, demolished or partially demolished as part of the development proposed?

Number of buildings:

b) Please state for each existing building/part of an existing building that is to be retained or demolished, the gross internal floorspace that is to be retained and/or demolished and whether all or part of each building has been in use for a continuous period of at least six months within the past thirty six months. Any existing buildings into which people do not usually go or only go into intermittently for the purposes of inspecting or maintaining plant or machinery, or which were granted temporary planning permission should not be included here, but should be included in the table in question 7c).

	Brief description of existing building/part of existing building to be retained or demolished.	Gross internal area (sq ms) to be retained.	Proposed use of retained floorspace.	Gross internal area (sq ms) to be demolished.	Was the building or part of the building occupied for its lawful use for 6 continuous months of the 36 previous months (excluding temporary permissions)?	When was the building last occupied for its lawful use? Please enter the date (dd/mm/yyyy) or tick still in use.
1					Yes <input type="checkbox"/> No <input type="checkbox"/>	Date: <input type="text"/> or Still in use: <input type="checkbox"/>
2					Yes <input type="checkbox"/> No <input type="checkbox"/>	Date: <input type="text"/> or Still in use: <input type="checkbox"/>
3					Yes <input type="checkbox"/> No <input type="checkbox"/>	Date: <input type="text"/> or Still in use: <input type="checkbox"/>
4					Yes <input type="checkbox"/> No <input type="checkbox"/>	Date: <input type="text"/> or Still in use: <input type="checkbox"/>
Total floorspace						

## 7. Existing Buildings continued

c) Does your proposal include the retention, demolition or partial demolition of any whole buildings **into which people do not usually go or only go into intermittently for the purposes of inspecting or maintaining plant or machinery, or which were granted planning permission for a temporary period?** If yes, please complete the following table:

	Brief description of existing building (as per above description) to be retained or demolished.	Gross internal area (sq ms) to be retained	Proposed use of retained floorspace	Gross internal area (sq ms) to be demolished
1				
2				
3				
4				
Total floorspace into which people do not normally go, only go intermittently to inspect or maintain plant or machinery, or which was granted temporary planning permission				

d) If your development involves the conversion of an existing building, will you be creating a new mezzanine floor within the existing building?

Yes ☐ No ☐

e) If Yes, how much of the gross internal floorspace proposed will be created by the mezzanine floor (sq ms)?

Use	Mezzanine floorspace (sq ms)

1044



## 8. Declaration

I/we confirm that the details given are correct.

Name:

DARREN MOORE

Date (DD/MM/YYYY). Date cannot be pre-application:

23/10/2019

It is an offence for a person to knowingly or recklessly supply information which is false or misleading in a material respect to a collecting or charging authority in response to a requirement under the Community Infrastructure Levy Regulations (2010) as amended (regulation 110, SI 2010/948). A person guilty of an offence under this regulation may face unlimited fines, two years imprisonment, or both.

For local authority use only

App. No:





**Lewes District Council**

**Planning Services**

Southover House, Southover Road, Lewes  
East Sussex BN7 1AB

planning@lewes.gov.uk / Tel: 01273 484420 / Fax: 01273 484452

**Householder Application for Planning Permission for works or extension to a dwelling.  
Town and Country Planning Act 1990**

**Publication of applications on planning authority websites.**

Please note that the information provided on this application form and in supporting documents may be published on the Authority's website. If you require any further clarification, please contact the Authority's planning department.

**1. Site Address**

Number	22
Suffix	
Property name	
Address line 1	Roderick Avenue
Address line 2	
Address line 3	
Town/city	Peacehaven
Postcode	BN10 8JT

Description of site location must be completed if postcode is not known:

Easting (x)	540884
Northing (y)	101122

Description

--

**2. Applicant Details**

Title	Mr
First name	Matt
Surname	Chapman
Company name	
Address line 1	22, Roderick Avenue
Address line 2	
Address line 3	
Town/city	Peacehaven
Country	

## 2. Applicant Details

Postcode	BN10 8JT
Primary number	
Secondary number	
Fax number	
Email address	

Are you an agent acting on behalf of the applicant?

☒ Yes ☐ No

## 3. Agent Details

Title	Mr
First name	Darren
Surname	Moore
Company name	DARREN MOORE ARCHITECTURAL SERVICES
Address line 1	15 Headland Avenue
Address line 2	
Address line 3	
Town/city	Seaford
Country	United Kingdom
Postcode	BN25 4PY
Primary number	
Secondary number	
Fax number	
Email	

## 4. Description of Proposed Works

Please describe the proposed works:

Single storey rear extension, new front addition and external facing materials change

Has the work already been started without consent?

☐ Yes ☒ No

## 5. Materials

Does the proposed development require any materials to be used?

☒ Yes ☐ No

Please provide a description of existing and proposed materials and finishes to be used (including type, colour and name for each material):

Walls	
Description of existing materials and finishes (optional):	Natural pebble dash
Description of proposed materials and finishes:	New and existing walls to be finished with smooth white painted render



## 5. Materials

### Roof

Description of existing materials and finishes (optional):	Pitched tiled roof
Description of proposed materials and finishes:	Rear extension to have a flat roof covered with grey felt. Front addition to have a pitched tiled roof covered with tiles to match existing.

### Windows

Description of existing materials and finishes (optional):	White plastic
Description of proposed materials and finishes:	White plastic windows to match existing.

### Doors

Description of existing materials and finishes (optional):	White plastic
Description of proposed materials and finishes:	White plastic, with the exception of the rear extension bi-folding doors which are to be grey aluminium

### Boundary treatments (e.g. fences, walls)

Description of existing materials and finishes (optional):	Timber fences
Description of proposed materials and finishes:	No change

### Vehicle access and hard standing

Description of existing materials and finishes (optional):	Concrete driveway
Description of proposed materials and finishes:	No change

### Lighting

Description of existing materials and finishes (optional):	N/a
Description of proposed materials and finishes:	N/a

### Other type of material (e.g. guttering) N/a

Description of existing materials and finishes (optional):	N/a
Description of proposed materials and finishes:	N/a

Are you supplying additional information on submitted plans, drawings or a design and access statement?

☒ Yes ☐ No

If Yes, please state references for the plans, drawings and/or design and access statement

Planning statement

## 6. Trees and Hedges

Are there any trees or hedges on your own property or on adjoining properties which are within falling distance of your proposed development?

☒ Yes ☐ No

## 6. Trees and Hedges

If Yes, please mark their position on a scaled plan and state the reference number of any plans or drawings:

Very small pear tree within the build area to be removed, as indicated on the proposed plans.

Will any trees or hedges need to be removed or pruned in order to carry out your proposal?

☒ Yes ☐ No

If Yes, please show on your plans, indicating the scale, which trees by giving them numbers (e.g. T1, T2 etc) and state the reference number of any plans or drawings:

Very small pear tree within the build area to be removed, as indicated on the proposed plans.

## 7. Pedestrian and Vehicle Access, Roads and Rights of Way

Is a new or altered vehicle access proposed to or from the public highway?

☐ Yes ☒ No

Is a new or altered pedestrian access proposed to or from the public highway?

☐ Yes ☒ No

Do the proposals require any diversions, extinguishment and/or creation of public rights of way?

☐ Yes ☒ No

## 8. Parking

Will the proposed works affect existing car parking arrangements?

☐ Yes ☒ No

## 9. Site Visit

Can the site be seen from a public road, public footpath, bridleway or other public land?

☐ Yes ☒ No

If the planning authority needs to make an appointment to carry out a site visit, whom should they contact?

- ☐ The agent  
☒ The applicant  
☐ Other person

## 10. Pre-application Advice

Has assistance or prior advice been sought from the local authority about this application?

☐ Yes ☒ No

## 11. Authority Employee/Member

With respect to the Authority, is the applicant and/or agent one of the following:

- (a) a member of staff  
(b) an elected member  
(c) related to a member of staff  
(d) related to an elected member

It is an important principle of decision-making that the process is open and transparent.

☐ Yes ☒ No

For the purposes of this question, "related to" means related, by birth or otherwise, closely enough that a fair-minded and informed observer, having considered the facts, would conclude that there was bias on the part of the decision-maker in the Local Planning Authority.

Do any of the above statements apply?

## 12. Ownership Certificates and Agricultural Land Declaration

**CERTIFICATE OF OWNERSHIP - CERTIFICATE A - Town and Country Planning (Development Management Procedure) (England) Order 2015 Certificate under Article 14**

I certify/The applicant certifies that on the day 21 days before the date of this application nobody except myself/the applicant was the owner\* of any part of the land or building to which the application relates, and that none of the land to which the application relates is, or is part of, an agricultural holding\*\*

\* 'owner' is a person with a freehold interest or leasehold interest with at least 7 years left to run. \*\* 'agricultural holding' has the meaning given by reference to the definition of 'agricultural tenant' in section 65(8) of the Act.

NOTE: You should sign Certificate B, C or D, as appropriate, if you are the sole owner of the land or building to which the application relates but the land is, or is part of, an agricultural holding.

## 12. Ownership Certificates and Agricultural Land Declaration

Person role

- ☒ The applicant  
☐ The agent

Title

First name

Surname

Declaration date (DD/MM/YYYY)

☒ Declaration made

## 13. Declaration

I/we hereby apply for planning permission/consent as described in this form and the accompanying plans/drawings and additional information. I/we confirm that, to the best of my/our knowledge, any facts stated are true and accurate and any opinions given are the genuine opinions of the person(s) giving them. ☒

Date (cannot be pre-application)





## DETERMINATION UNDER DELEGATED POWERS

<b>Application Number:</b> LW/19/0520	<b>Case Officer:</b> Mr Robin Hirschfeld	<b>Date Received:</b> 25 July 2019
<b>Site Address:</b> 246 South Coast Road Peacehaven East Sussex	<b>Parish:</b> Peacehaven	<b>Date Valid:</b> 4 September 2019
<b>Proposal:</b> Addition of a second floor to accommodate 2 new flats		<b>Consultation expiry:</b> 15 October 2019
<b>Applicant:</b> Mr R Hayward		<b>Recommendation Date:</b> 25 October 2019
<b>RECOMMENDATION:</b> That the Outline Planning Application is Refused		<b>Decision Due:</b> <b>30 October 2019</b>

### Decision Notice check list:

S106 Legal Agreement required BEFORE issuing Decision: **NO**

	Signature	Date
Recommendation Agreed by Senior Officer:		

	Signature	Date
Decision Notice Checked by:		

## **Representations from Standard Consultees:**

Planning Policy Comments – This planning application should be considered against the policies of the adopted Lewes District Local Plan Part 1 (LPP1), the Submission Lewes District Local Plan Part 2 (LPP2), and the relevant 'saved' policies of the Lewes District Local Plan 2003 (LDLP 2003).

The National Planning Policy Framework (NPPF) may also be a material consideration. In accordance with the Cabinet resolution of 17th April 2012, only those 'saved' LDLP 2003 policies that are consistent with national planning policies are applicable to the determination of planning proposals in the district.

The LPP2 will not gain full weight as part of the development plan for the area until it is adopted. However, the plan was submitted for examination in December 2018 and a number of hearing sessions were held April 2019. Following these hearing sessions, the Inspector has recommended that modifications to a small number of policies be published for consultation prior to the submission of his final report.

All the other LPP2 policies have essentially been found 'sound' and can therefore be given substantial weight in the determination of relevant planning applications, unless other material considerations indicate that it would be unreasonable to do so. The 'sound' policies are BA01, BA02, BA03, CH01, DM1-23, and DM25-37.

The principal planning policies that should be taken into consideration in determining the acceptability of this planning application are Core Policies 2, 11 and 13 of the adopted LPP1, Policies DM1, DM25, DM26 and DM28 of the Submission LPP2, and 'saved' Policies CT1, ST3 and RES13 of the LDLP 2003.

The proposed development is located within the settlement planning boundary of Peacehaven, where new development is acceptable in principle in accordance with Policy DM1 of the Submission LPP2 and 'saved' Policy CT1 the LDLP 2003. However, the scale, massing and design of the proposed additional storey is considered to be fundamentally in conflict with Core Policy 2 (criterion 3) and Core Policy 11 (criterion iv) of the LPP1, Policies DM25 and DM28 of the Submission LPP2, and 'saved' Policies ST3 and RES13 of the of the LDLP 2003.

The proposed development also fails to comply with Core Policy 13 (criterion 5) of the LPP1, because insufficient parking spaces are provided to meet parking guidance approved by the District Council. It is not considered that there is a need for two new dwellings in this location that is sufficient to outweigh the conflict with the approved development plan for the area and the application should therefore be refused.

ESCC Highways – Thank you for consulting the Highway Authority on application no LW/19/0520. On this occasion I do not consider it necessary to provide formal Highway Authority comments as access is via Cavell Avenue UC5863 and advise you to consult the minor planning application guidance (2017).

Main Town Or Parish Council – LW/19/0520 246 SOUTH COAST ROAD - Mr Robin Hirschfeld



## Peacehaven Town Council recommends Refusal - OBJECTION

Resident has expressed concerns with access to the building. They use a mobility scooter and the entrance is already tight. PTC objects, due to lack of information with access during and after building works, which may stop the resident leaving their home.

### **Other Representations:**

An objection has been received from a neighbouring property with concerns about: Access to the building during works, car park access during works, noise, damage during works and loss of amenities

### **Policies:**

Applications must be determined in accordance with the Development Plan unless material considerations indicate otherwise. Due regard has been had to the following documents:

#### **The National Planning Policy Framework (NPPF).**

The NPPF came into force in February 2019 and sets out the Government's planning policies for England and how these are expected to be applied. The NPPF is a material consideration in the determination of planning applications.

#### **The Lewes District Local Plan (LDLP)**

The LDLP was adopted in March 2003. Some of its policies have now been replaced by the policies of the Lewes District Local Plan Part 1: Joint Core Strategy 2010-2030. Its remaining policies are currently under review and will eventually be replaced by the Local Plan Part 2: Site Allocations and Development Management Policies DPD.

#### **The Joint Core Strategy (LDJCS)**

The LDJCS was adopted by Lewes District Council in May 2016 and sets out the long term spatial vision for the district and will guide development and change up to 2030.

#### **Any Neighbourhood Plans**

Neighbourhood planning gives communities direct power to develop a shared vision for their neighbourhood and deliver the sustainable development they need. Paragraph 216 of the NPPF confirms that weight that can be given to emerging plans depending on their stage of preparation, extent of unresolved objections to policies, and the degree of consistency with the NPPF.

The relevant policies to this application are:

- Lewes District Council Local Plan: – ST03-Design, Form and Setting of Development
- Lewes District Council Local Plan: – RES13-All extensions
- Lewes District Joint Core Strategy: – CP2-Housing Type, Mix and Density
- Lewes District Joint Core Strategy: – CP11-Built and Historic Environment & Design
- Lewes District Joint Core Strategy: – CP13-Sustainable Travel

## Officer Report:

### Site and proposal:

The application site is an existing two storey building that currently accommodates four residential flats. The existing building is sited on a plot that slopes from West to East. South coast road is characterised by newer flat blocks, commercial buildings with accommodation and dwelling houses. The proposal is for the erection of third storey to the existing building to accommodate two 2 bed flats. The application is a resubmission of withdrawn planning application LW/18/0899.

The application is an outline proposal that seeks to determine the design, scale and layout with the access and landscaping details reserved.

The proposed third floor would have a flat roof and will create a building with an overall height of 8 m. The proposed flats would measure approximately 11.7 m wide and 12.4 m deep. Two balconies are proposed for the front facing South elevation with one balcony allocated to each flat and screening erected between them. Each balcony will measure 3.7 m wide and 1.1 m deep with railings measuring 0.85 m high. Two double glazed doors with side windows measuring 3 m wide and 2 m high will lead out to the balcony.

Two windows measuring 0.9 m wide and 1.2 m high are proposed for the front facing elevation. One window measuring 0.6 m wide and 1.2 m high this proposed for both side facing elevations and for windows, two measuring 1.1 m wide and 1.2 m high and two measuring 1.8 m wide and 1.2 m high, are proposed for the rear facing elevation.

### Provision of amenity space:

Lewes District Council adopted the 'National Space Standards' in 2016 which provide for minimum internal floor area standards. The Local Planning Authority now requires that all new residential developments comply with these standards.

The National Space Standards for a double (or twin) bedroom bed space is 11.5 m<sup>2</sup> and for a single bedroom one bed space is 7.5m<sup>2</sup>. Both of the flats provide:

Bedroom 1: 13 m<sup>2</sup>

Bedroom 2: 7.5 m<sup>2</sup>

It is considered that both units meet the National space standards requirements for bedroom space.

The National Space Standards for a two bedroom 3 person one storey dwelling is 61 m<sup>2</sup> and both flats only have a gross internal floor area of approximately 46 m<sup>2</sup>.

Further to this all new dwellings have to provide for built-in storage space at a ratio of 2 m<sup>2</sup> for a 3 person dwellings. Both flats only provide 1 m<sup>2</sup> of storage space.



It is therefore considered that neither of the residential units meet the National Space Standards requirements for gross internal floor area and built-in storage space.

#### Impact on parking:

East Sussex County Council highways requires the provision of 1 allocated parking space for residents and 1.80 unallocated parking spaces for both residents and visitors giving a total requirement of 7.80 spaces for the flat block. Only 6 spaces are allocated for the existing flats and there will be no new allocated parking spaces provided contrary to East Sussex County Council highways requirements and policies ST3 and CP13.

#### Impact on the streetscene and neighbouring amenities:

Planning policy ST3 (Design) states that 'development [ ] should respect the amenities of adjoining properties' and 'should consider the enclosure of spaces around buildings and [ ] take account of overlooking, microclimate and the function of such spaces'. The neighbouring properties are a two-storey building with a ground floor commercial unit with a flat above (244A) and a single storey dwelling (248) that was converted from a shop to a residential property following planning application LW/09/0994. With the implementation of the two proposed flats the building would lose the current pitched roof and create a flat roof building 8 m high. The building is 0.6 m away, at its narrowest, from the West boundary and 1 m away, at its narrowest, from the East boundary. No 248 has Velux windows inserted into the roof and No 244A has windows that face out onto the East boundary of the flat block. As such it is considered that the provision of an extra storey would be overbearing, cause overshadowing and have a detrimental impact on privacy to the neighbouring properties contrary to ST3.

Policy CP2 (Housing Type Mix and Density) of the Lewes District Local Plan (LDLP) states that "housing developments should reflect the site context including the character of the surrounding area". It is considered that a three-storey flat roof building would appear disruptive and incongruous in the street scene where the use of traditional pitched roofing and, due to the topography of South Coast Road, one and two storey buildings are an established characteristic. It is noted that to the West of the site, further along South coast road, and to the rear of the site, in Cavell Avenue, three-storey buildings are present. However, due to the topography of the site, the flat roof design and the prominent position of the building within South Coast Road it is considered that the proposal is contrary to CP2.

Policy CP11 (Built and Historic Environment) requires that new developments should "respond sympathetically to the site and its local context". It is considered that, due to topography of the area, the creation of a three storey building in a prominent, higher position along South Coast Road does not respond sympathetically to the site or the character of the surrounding area. The proposal is therefore considered to be detrimental to the appearance and character of the streetscene contrary to CP11.

It is considered that the creation of a three storey flat roof building ,due to the presence of single storey and two-storey buildings next door to the site, does not respect the scale, massing, site coverage, density, character, rhythm and layout of the surrounding area. It would result in a large and overbearing building that is detrimental to the appearance, character and layout of the streetscene contrary to policies ST3 (Design) and RES13 (extensions) that require developments to respect the overall scale, height, massing, alignment, site coverage, density, landscaping, character, rhythm and layout of neighbouring buildings and the local area.

#### Representations:

Peacehaven Town Council objected to the application on the grounds of lack of information regarding access to the building during and after building works and residents' concerns about disability access. An objection has been received from a neighbouring property regarding access to the building during works, car park access during works, potential noise, potential property damage during works and loss of amenities.

#### Summary:

It is considered that the proposal by nature of its overall scale, massing and design would appear disruptive and incongruous to the appearance and character of the streetscene and surrounding area, be detrimental to the amenity of, and overbearing to neighbouring properties contrary to policies ST3 (design) and RES13 (extensions) of the Lewes district local plan and CP2 (Housing Type Mix and Density), CP13 (sustainable travel) and CP11 (Built and Historic Environment) of the Lewes District joint core strategy. In addition the proposal is contrary to government National Space Standards for residential properties. Substantial weight can also be afforded to LLP2 policies (currently consultation) DM1, DM25, DM26 and DM28.

#### Recommendation:

It is recommended that planning permission is refused.

#### Reason(s) for Refusal:

1. This decision relates solely to the following plan(s):

<u>PLAN TYPE</u>	<u>DATE RECEIVED</u>	<u>REFERENCE</u>
Additional Documents	4 September	SUSTAINABLE STATEMENT



	2019	
Location Plan	25 July 2019	17898-01
Proposed Floor Plan(s)	25 July 2019	17898-03
Proposed Elevation(s)	25 July 2019	17898-04
Existing Floor Plan(s)	25 July 2019	17898-01
Existing Roof Plan	25 July 2019	17898-01
Existing Elevation(s)	25 July 2019	17898-02
Illustration	25 July 2019	17898-06
Proposed Block Plan	25 July 2019	17898-02
Existing Section(s)	25 July 2019	17898-05
Proposed Section(s)	25 July 2019	17898-05

Reason: For the avoidance of doubt and in the interests of proper planning.

2. It is considered that the proposal by nature of its overall scale, massing and design would appear disruptive and incongruous to the appearance and character of the streetscene and surrounding area, be detrimental to the amenity of, and overbearing to neighbouring properties contrary to policies ST3 (design) and RES13 (extensions) of the Lewes district local plan and CP2 (Housing Type Mix and Density), CP13 (sustainable travel) and CP11 (Built and Historic Environment) of the Lewes District joint core strategy. In addition the proposal is contrary to government National Space Standards for residential properties. Substantial weight can also be afforded to LLP2 policies (currently consultation) DM1, DM25, DM26 and DM28.

